

## AGENDA

REGULAR MEETING  
BOROUGH COUNCIL  
MALVERN BOROUGH

June 20, 2023  
7:30 PM

### Virtual Meeting Participation Option

This evening's meeting of Malvern Borough Council allows for a virtual meeting option via Zoom. The information on how to participate virtually via telephone or video conferencing is provided below.

**Borough Council Meeting Dial-In Information: 1-877-853-5247 (toll-free)**

**Meeting link:** <https://us02web.zoom.us/j/84197019623>

**When prompted, enter the following meeting ID, followed by the “#” symbol: 841 9701 9623. You will be placed in the waiting room and admitted by the host.**

**To unmute if using audio via telephone, please enter \*6.**

**Malvern Borough is not liable for any computer security problems that participants may experience.**

PRESIDING: Amy Finkbiner, Ph.D., President

INVOCATION: Zeyn B. Uzman, Mayor

PLEDGE OF ALLEGIANCE TO THE FLAG

ROLL CALL:  
Council President Finkbiner  
Council Vice-President Bones  
Council Member Frederick  
Council Member Niemiec  
Council Member Phillips  
Council Member Riccetti  
Mayor Uzman

#### 1. ANNOUNCEMENTS

- a. Anyone present who is recording the meeting is asked to announce so at this time, in accordance with Resolution No. 840.
- b. As a courtesy, if you are participating via Zoom, please turn your camera on while speaking.
- c. The Malvern Post Office renewed its lease for five (5) years until September, 2028
- d. The Borough Administration Office is closed in honor of Independence Day on Monday, July 3, 2023 and Tuesday, July 4, 2023. The Library and Borough Building is closed on Tuesday, July 4, 2023 in honor of Independence Day.
- e. The Borough Council meeting scheduled for Wednesday, July 5, 2023 at 7:30PM is cancelled due to Independence Day.
- f. The Malvern Fire Company Carnival is scheduled from Tuesday, July 11, 2023 thru Saturday, July 15, 2023. Please refer to the Borough website for further information.

2. APPROVAL OF AGENDA:

**MOTION:** To approve the agenda for the June 20, 2023 meeting of Borough Council as presented.

3. MINUTES & REPORTS

a. APPROVAL OF MINUTES

**MOTION:** To approve the minutes of the regular meeting held on Tuesday, June 6, 2023 as presented.

b. APPROVAL OF REPORTS

**MOTION:** To approve the Treasurer's Report, the Sub-Committee Reports for Finance and Administration, Public Safety, and Public Works, the Chief of Police Report, the Code Enforcement Department Reports, the Superintendent of Public Works Report, the Assistant Manager's Report, and the Manager's Report for the month of May 2023, as submitted.

c. BOROUGH COUNCIL SUB-COMMITTEE REPORTS

- Finance & Administration
- Public Safety
- Public Works

The Finance & Administration Sub-Committee has not met since the last Borough Council meeting and is scheduled to meet on Wednesday, June 28, 2023.

The Public Works Sub-Committee is scheduled to meet on Monday, June 19, 2023 and will be discussing various Public Works matters providing a report this evening.

The Public Safety Sub-Committee has not met since the last Borough Council meeting and is scheduled to meet on Monday, July 10, 2023.

4. SPECIAL BUSINESS

a. ZONING PERMIT FEE – WAIVER REQUEST

**MOTION:** To approve the zoning permit fee be waived for 165 Church Street totaling seventy-five dollars, \$75.00, requiring that the permit be filed for all work completed.

The property owner located at 165 Church Street has requested for the Zoning Permit fee be waived to install a walkway at the property through a non-profit organization completing work at the property.

b. PRELIMINARY/ FINAL LAND DEVELOPMENT APPROVAL FOR SYNTHETIC TURF FIELDS LOCATED AT MALVERN PREPARATORY SCHOOL – RESOLUTION NO. 846

**MOTION:** To approve Resolution No. 846 as presented this evening.

*The proposed the improvements consists of converting two grass athletic fields to synthetic turf, new bleachers and dugouts, a new parking facility, new walkways, and two underground stormwater basins. The plan proposed is pursuant to the Malvern Borough Subdivision & Land Development Ordinance of 2006 for the development of certain property in the Borough of Malvern, Chester County, Pennsylvania, in the I1- Institutional District.*

*The Plan has been reviewed by the Borough Engineer and the Planning Commission. The Planning Commission recommended that the Plan be approved as a preliminary/final plan conditioned upon compliance with the comments contained in the Borough Engineer's review letter dated May 25, 2023 , including the revised requested waivers referenced in the Applicant's April 14, 2023, letter at their June 1, 2023 meeting unanimously.*

c. MALVERN PUBLIC LIBRARY BOARD APPOINTMENT

**MOTION:** To appoint Dr. Helise Bichefsky, DO to the Malvern Public Library Board of Trustees.

*Dr. Helise Bichefsky has been a member of the Friends of the Malvern Public Library since the group began several years ago. She attends meetings regularly and has made several important suggestions that improved the effectiveness of the Friends. She regularly works the book sale. Her participation has helped coordinate the programs of the MPL with those of Malvern Borough Parks and Recreation Committee. The Board and Staff of the library are very appreciative of her contribution and have recommended her appointment to the Malvern Public Library Board of Trustees.*

5. UNFINISHED BUSINESS

a. 41<sup>st</sup> BIRD TOWN PENNSYLVANIA DESIGNATION

*Ms. Heidi Shiver of Bird Town Pennsylvania will be presenting this evening to commemorate Malvern Borough's acceptance into the program including the locations of the signage located throughout Malvern Borough. The presentation will be placed on the Borough website the following day.*

*The Environmental Advisory Council recommended unanimously the signage be placed at the main entrances located in Malvern Borough at both ends of Warren Avenue and King Street.*

b. 209 OLD LINCOLN HIGHWAY STATUS UPDATE REGARDING SALE OF PROPERTY

*Borough Council Directed the Borough Manager at their May 16, 2023 meeting to provide a comprehensive status update including supporting documentation to analyze when is best to sell the property located at 209 Old Lincoln Highway. The Borough Manager will present this information to Borough Council and they will discuss how best to move forward.*

c. BOROUGH COUNCIL VACANCY NOMINATIONS

*Borough Council will take nominations this evening. A replacement will be selected at the July 18, 2023 meeting. The person appointed to fill the vacancy will be entitled to hold the office until a successor is elected at the November 7, 2023 municipal general election.*

d. ZONING HEARING BOARD

*There are no new applications before the Zoning Hearing Board.*

6. NEW BUSINESS

a. KING STREET CROSSWALK STUDIES

*McMahon and Associated quotes \$6,200 to perform two (2) crosswalk studies located at King Street and Bridge Street, as well as King Street and Channing Avenue. The Public Safety Sub-Committee strongly suggested at their Monday, June 5, 2023 meeting that Borough Council approve the studies be completed for the Health, Safety, and Welfare of the Malvern Borough Community. Borough Council may motion this evening to authorize the studies be completed as presented upon further discussion.*

b. MALVERN PLANNING COMMISSION 2022 ANNUAL REPORT & ACTION PLAN RECOMMENDATION TO BOROUGH COUNCIL

*Planning Commission Chairman Sinquett is presenting the Planning Commission 2022 Annual Report and an Action Plan Recommendation to Borough Council this evening for consideration. These items will be posted on the Borough website the following day.*

c. CHESTER RIDLEY CRUM WATERSHEDS ASSOCIATION DONATION REQUEST

**MOTION:** To authorize a \$500 to the Chester Ridley Crum Watersheds Association and to include this Civic Organization in the Year 2024 Budget as a standing annual donation thereafter.

*The Environmental Advisory Council recommended unanimously at their May 25, 2023 meeting for Borough Council to donate \$500 to the Chester Ridley Crum Watersheds Association per their request and to include this Civic Organization in the Year 2024 Budget as a standing annual donation thereafter.*

d. RUBINO PARK – PARKING SIGNAGE INSTALLATION DISCUSSION

*The Public Safety Sub-Committee discussed a complaint and suggestion received from a local resident at their June 5, 2023 meeting regarding installing parking signage on Broad Street, near Rubino Park, limiting two (2) parking spots to parking for two (2) hours at a time. An Ordinance is required to implement such and Borough Council will discuss how best to move forward this evening.*

e. PARK & RECREATION COMMITTEE ALTERNATE MEMBER DISCUSSION

*The Parks & Recreation Commission recommended unanimously at their June 7, 2023 meeting to create an alternate member for appointment to the Parks and Recreation Committee. An ordinance amending the Administrative Code pursuant to Section 25-29(J) is required.*

7. PUBLIC FORUM

Citizens/taxpayers are invited to bring before Borough Council any item not on the agenda.

8. ADJOURNMENT

REGULAR MEETING

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MALVERN BOROUGH  
1 East First Avenue  
Malvern, PA 19355

June 6, 2023  
7:30 PM

PRESIDING: President Finkbiner

INVOCATION: Mayor Uzman

PLEDGE OF ALLEGIANCE TO THE FLAG

ROLL CALL

PRESENT

Council President Finkbiner  
Council Vice President Bones  
Council Member Frederick  
Council Member Phillips  
Council Member Niemiec  
Council Member Riccetti  
Zeyn B. Uzman, Mayor

ABSENT:

ANNOUNCEMENTS

President Finkbiner asked in accordance with Resolution No. 840 if any member of the audience was recording the meeting. Mr. Hugo Schmitt and Mr. Danny Fruchter recorded the meeting.

President Finkbiner requested as a courtesy, if you are participating via ZOOM, please turn on your camera while speaking.

President Finkbiner announced that Borough Council met in executive session on June 6, 2023 prior to this evening's meeting to discuss matters related to collective bargaining.

President Finkbiner announced that Picnic in the Park occurred on Saturday, June 3, 2023 and the Annual Memorial Day Parade took place the following day on Sunday, June 4, 2023.

Mayor Uzman thanked the Malvern Borough Police Department and volunteer's efforts at the Memorial Day Parade.

APPROVAL OF AGENDA

A motion was made by Council Member Phillips, seconded by Council Member Frederick, carried by a vote of 6-0, to approve the agenda for the June 6, 2023 meeting as presented.

MINUTES & REPORTS

a. APPROVAL OF MINUTES

A motion was made by Council Member Phillips, seconded by Council Member Niemiec, and carried by a vote of 6-0, to approve the minutes from the Tuesday, May 16, 2023 regular meeting as presented.

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A motion was made by Council Member Phillips, seconded by Council Member Riccetti, and carried by a vote of 5-0, to approve the minutes from the Tuesday, May 19, 2023 special meeting as presented. Council Member Frederick abstained due to being not in attendance at the meeting.

### b. BOROUGH COUNCIL SUB-COMMITTEE REPORTS

The Finance & Administration and Public Works Sub-Committees have not met since the last Borough Council meeting.

The Public Safety Sub-Committee met on Monday, June 5, 2023 and discussed the following:

- PECO replacing a pole at Monument Avenue and King Street
  - Damaged Crosswalk Pole located at Warren Avenue and King Street
  - Stocking parts through the supplier for crosswalk light repairs
  - Traffic study quote for two (2) traffic studies to be performed at King Street & Channing Avenue and King Street & Bridge Street
- Rubino Park parking issued from resident complaint and concern letter received

### SPECIAL BUSINESS

#### a. ACCEPTANCE OF MARTY LANEY'S RESIGNATION BY BOROUGH COUNCIL

President Finkbinder explained that former Council Member Marty Laney gave notification of her resignation to Borough Council effective May 31, 2023. Borough Council and the Community thank her for many years of service to Malvern Borough.

She further explained that pursuant to the Borough Home Rule Charter, nominations will be taken at the June 20, 2023 meeting. A replacement will be selected at the following regular meeting. The person appointed to fill the vacancy will be entitled to hold the office until a successor is elected at the November 7, 2023 municipal general election.

My. John Buckley asked to be considered for the position.

Borough Council thanked Marty Laney for her years of service to the Borough and asked the Borough Manager to look into having a plaque.

A motion was made by Council Member Niemiec, seconded by Council Member Riccetti, and carried by a vote of 6-0, to accept Marty Laney's resignation from Borough Council as of Wednesday, May 31, 2023.

#### b. AUTHORIZATION TO APPOINT A BOROUGH COUNCIL MEMBER TO CO-SIGN FOR BANK TRANSACTIONS

President Finkbinder explained that Borough Council will appoint Vice President Bones to co-sign for bank transactions.

A motion was made by Council Member Phillips, seconded by Council Member Riccetti, and carried by a vote of 6-0, to authorize Vice President Bones to co-sign for bank transactions on behalf of the Borough.

c. SEPTA INFRASTRUCTURE PRESENTATION

President Finkbiner introduced SEPTA and explained that they will be implementing infrastructure updates to the local train station located in Malvern Borough. They will be presenting this evening and the presentation will be posted on the Borough Website the following day.

Mr. Robert Tangi and Mr. Joseph Connelly presented on behalf of SEPTA.

Borough Council discussed including aesthetics such as brick, new lighting additions being environmentally friendly to birds and surrounding residents, parking changes, and stormwater management upgrades to the site including the parking lots and on the Northside of the tracks.

Police Chief Marcelli addressed Knox boxes and camera surveillance requesting as many cameras as possible.

Mrs. Gail Newman inquired if the residents would be notified of the work performed in the surrounding area. Mr. Tangi confirmed all residents would be notified well in advance.

Resident Lindsey inquired if the work being performed will be inspected and who is responsible for snow removal. Mr. Tangi explained that all work will be inspected and SEPTA is responsible for snow removal.

Mr. John Buckley commented on the current parking lot and remote parking including building a parking garage.

Mr. Connelly confirmed that SEPTA is pausing on all parking projects throughout the entire institution.

Borough Council thanks SEPTA for their presentation. Mr. Tangi explained that Borough Council has the opportunity to submit their wish list requests and he will be reaching out for the Borough to formalize such to SEPTA's attention.

d. TRASH CONTRACT AWARD FOR YEARS 2023 & 2024

President Finkbiner explained the trash contract concludes with A.J. Blosenski as of June 30, 2023. The Borough solicited bids for a new provider concluding Wednesday, May 31, 2023 at 12PM. At the March 21, 2023 meeting, Borough Council authorized the trash contract be bid for the same services currently offered, for the same services offered with uniform trash bins provided by the trash company, and collection once a week without uniform trash bins, having bulk pick up occur semi-annually. The initial contract term shall be 18 months, with one or two 12-month option periods.

Borough Council discussed the four (4) bids received this evening from A.J. Blosenski, J.P. Massaro & Sons, Whitetail Disposal, and Charles Blosenski Disposal presented in the bid tabulation and what option would best serve Malvern Borough.

Borough Council confirmed that A.J. Blosenski was the low bidder for once a week and twice a week pick up. They did not bid for the uniform trash receptacle option.

Mrs. Gail Newman of the Landmark Community inquired if the Borough would pay for their trash services given their residents have to pay twice how the trash contract is currently structured.

President Finkbiner explained upon the contract being put on an eighteen (18) month contract to have an annual trash contract the Borough will be able to address this issue in a future budget cycle.

Mr. Adam Grimes inquired about bulk trash pick-up. Borough Council explained that bulk trash pickup will occur twice a year, once in fall, and once in Spring.

Mr. Ryan Miller is in favor of once a week trash pickup.

Borough Council discussed the composting program and inquired when statistics would be received.

Assistant Manager Badman explained to collect data the program must operate for a longer period of time, as the program just initiated.

Dr. David Knies, Ph.D. ask who is in favor of once a week.

President Finkbiner asked the public who is favor of once a week and a majority of the general public that was in attendance raised their hands in favor.

Mr. John Buckley inquired if a separate hauler can be chosen for trash pick up and recycling, as well as commenting for trash pickup to remain on Fridays as is currently done.

Borough Council confirmed separate haulers may be chosen to perform each duty.

Mrs. Jessica Anderson commented on the compost program and is currently taking part in the program.

Mrs. Sid Baglini offered to assist the Borough with tips on how to manage trash is the once a week option is chosen.

Borough Council directed staff to create an educational mailer to be sent to all residents receiving residential trash service.

A motion was made by Council Member Niemiec, seconded by Council Member Phillips, and carried by a vote of 6-0, to authorize A.J. Blosenski as the Borough's trash hauler for Bid C to the satisfaction of the Borough Solicitor.

## **UNFINISHED BUSINESS**

### a. MAIN STREET REVITALIZATION TASK FORCE INTERVIEWS & POTENTIAL APPOINTMENTS

President Finkbiner explained that Borough Council will interview interested applicants to become member(s) of the Main Street Revitalization Task Force and potentially appoint five (5) members this evening pursuant to Resolution No. 845. All interested applicants were contacted on Wednesday, May 31, 2023 requesting their presence at the meeting this evening to be interviewed in



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person or via ZOOM by the Borough Manager on behalf of Borough Council. There are 11 application submissions.

Mr. Bill Arrowood of PA Downtown and Mr. Mark Evans of Derck & Edson are available for questions and to assist with the process. Malvern Borough is a member of PA Downtown.

Council Member Frederick discussed with Borough Council her interest in being on the Committee as a local business owner since Year 2019.

A motion was made by Council Member Phillips, seconded by Council Member Riccetti, and carried by a vote of 5-0, to appoint Lynne D. Frederick to the Main Street Revitalization Task Force. Lynne D. Frederick abstained from voting due to being the subject matter of the vote.

Ms. Tina Corrado was not able to attend this evening due to a conflict and notified Borough Council.

Ms. Christy Campli presented her recommendations and has 10 years' experience in restaurant, retail, and marketing experience. She runs the weekly Farmers Market held in Burke Park.

Mr. Eric Rea is a resident of the Malvern Borough and has a background in economic development. He has owned numerous companies and is currently retired looking to become more involved in his community.

Mr. Ryan Miller has an interest in serving on the task force and works in the medical field.

Mr. Fred Mannis has business and accounting experience and is interested in serving on the task force.

Ms. Meghan Miller is the Director of CGI and has a MBA from St. Joseph's University. She has experience and is focused on bringing young families into the Malvern Borough culture.

Ms. Jessica Anderson is a resident of the community and has 30 years background in education dealing with family relations. She is interested in supporting the Community.

Mr. Nicholas Bociella, Ms. Katherine Summers, and Ms. Margie Versaglio were not available this evening for interviews in person.

Borough Council and the Mayor discussed in length the great candidates that applied for the task force and thanked everyone for their time. They invited anyone not selected this evening to be part of the public process and join the meeting that will be taking place in the near future.

Mr. Mark Evans discussed the grant available that is due July 28, 2023 that requires a 20% match. There may not be enough time to make application this round.

Borough Council asked what the vision is of the candidates.

Mr. Jim Vike inquired that this question be offered to all the candidates to answer.

Ms. Meghan Miller commented on the process of creating a vision.

Ms. Jessica Anderson commented on the vision of keeping a safe and vital community.

Ms. Christy Campli commented on strength in numbers and sustainability, while implementing growth.

Mr. John Buckley commented on the size of the task force and requested that the number be increased to eight (8) members.

Ms. Tiffanie Quinn commented that anyone interviewing that is present this evening should be considered and to apply for the grant mentioned.

Dr. David Knies, Ph.D. urged Borough Council to move forward with the five (5) member task force as proposed and start working on the vision as soon as possible.

A motion was made by Council Member Frederick, seconded by Council Member Phillips, and carried by a vote of 6-0, to appoint Tina Corrado to the Main Street Revitalization Task Force.

A motion was made by Vice President Bones, seconded by Council Member Phillips, and carried by a vote of 6-0, to appoint Eric Rea to the Main Street Revitalization Task Force.

A motion was made by Council Member Riccetti, seconded by Council Member Frederick, and carried by a vote of 6-0, to appoint Meghan Miller to the Main Street Revitalization Task Force.

A motion was made by Vice President Bones, seconded by Council Member Phillips, and carried by a vote of 6-0, to appoint Christy Campli to the Main Street Revitalization Task Force.

b. REFERENDUM RESULTS

President Finkbiner explained that Borough Council will discuss the referendum results regarding the First Avenue Bike Trail Park and have the Borough Solicitor explain the legal process.

The Borough Solicitor explained that he will work with the Borough Manager to file and record the Ordinance, as well as submit the easement offer to the Willisotwn Conservation Trust.

c. ZONING HEARING BOARD

President Finkbiner explained that a Zoning Hearing Board Application has been received as of May 26, 2023 for 38 Ruthland Avenue proposing an additional dwelling unit, to total four (4) units, located at the property located in the R4 Residential Zoning District. The Zoning Officer and Assistant Zoning Officer are currently reviewing the application for completeness in conjunction with the Borough Solicitor's guidance.

Mr. Vike is not in support of the relief requested due to the proposed use being out of character with what is required in the R4 Residential Zoning District.

NEW BUSINESS

PUBLIC FORUM

Mr. John Buckley asked about receiving a waiver for a Zoning permit fee to install a walkway on his property.

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President Finkbiner agreed that this matter will be addressed on the Agenda at the June 20, 2023 Borough Council meeting.

Ms. Sid Baglini complemented the new flagpole light located on the PMA grounds and the pocket park that has been installed at the rear of Borough Hall of Channing and Warren Avenues.

**ADJOURNMENT**

All business having been discussed, a motion was made by Council Member Riccetti, seconded by Vice President Frederick, and carried by a vote of 6-0, to adjourn the meeting at 10:35PM

Respectfully submitted,  
Tiffany M. Loomis  
Borough Manager/Secretary

DRAFT

<b>TREASURER'S REPORT</b>			
	May-23		June 20, 2023
<b>GENERAL FUND:</b>			
January 1, 2023 Opening Cash Balance		\$ 2,511,038.11	
2023 General Fund Budget		\$ 5,522,967.00	
Year-to-Date - Revenues		\$ 3,145,160.99	
Year-to-Date - Expenditures		\$ 2,746,351.46	
May1, 2023 Opening Cash Balance			\$ 2,533,908.01
MayRevenues			* 1,096,136.86
Total Revenues and Opening Cash Balance			\$ 3,630,044.87
MayExpenses			** 720,197.23
May 31, 2023 Closing Cash Balance			<b>\$ 2,909,847.64</b>
800,000 Special MM Acct.	National Bank of Malvern	\$ 2,909,847.64	
<b>PLIGT CLASS I</b>			
		\$ 250,000.00	
MayOpening Cash Value			\$ 777,933.20
Deposits	PLGHIT PRIME TERM 100K	100K CD matured w int.	
Interest	PLGHIT PRIME TERM 100K	Interest	\$ 9,086.75
MayClosing Balance			<b>\$ 787,019.95</b>
<b>1ST RESOURCE BANK</b>			
Opening Cash Balance			\$ 250,000.00
Interest			\$ 431.16
Closing Cash balnace			<b>\$ 250,431.16</b>
<b>MERIDIAN BANK CHECKING</b>			
January 1, 2023 Opening Cash balance		\$ 265,672.37	
MayRevenues			
May 31, 2023 Closing Cash Balance			\$ 266,809.66
Total Revenues and Opening Cash Balance			\$ 294.59
MayExpenses			
May 31, 2023 Closing Cash Balance			<b>\$ 267,104.25</b>
		\$ 267,104.25	
<b>CAPITAL RESERVE FUND:</b>			
January 1, 2023 Opening Cash Balance		\$ 895,171.74	
2023 Capital Reserve Budget		\$ 3,128,307.00	
Year-to-Date - Revenues		\$ 662,081.34	
Year-to-Date - Expenditures		\$ 234,392.25	
May1, 2023 Opening Cash Balance			\$ 1,381,402.43
MayRevenues			1,226.48
Total Revenues and Opening Cash Balance			\$ 1,382,628.91
MayExpenses			59,768.08
May 31, 2023 Closing Cash Balance			<b>\$ 1,322,860.83</b>
	National Bank of Malvern	\$ 1,322,860.83	
* Sewer payroll	21,095.51		
<b>LIQUID FUEL FUND:</b>			
January 1 2023 Opening Cash Balance		\$ 216,973.45	
2023 Liquid Fuels Budget		\$ 180,000.00	
Year-to-Date Revenues		\$ 96,681.86	
Year-to-Date Expenditures		\$ -	
May 1, 2023 Opening Cash Balance			\$ 313,371.99
MayRevenues			283.32
Total Revenues and Opening Cash Balance			\$ 313,655.31
MayExpenses			*
May 31, 2023 Closing Cash Balance			<b>\$ 313,655.31</b>
	Savings Account	\$ 313,655.31	
<b>SEWER FUND:</b>			

January 1, 2023 Opening Cash Balance		\$	2,014,819.89		
2023 Sewer Budget		\$	1,056,405.00		
Year-to-Date - Revenues		\$	558,192.01		
Year-to-Date - Expenditures		\$	533,975.07		
May 1, 2023 Opening Cash Balance				\$	1,924,582.21
May Revenue					303,774.92
Total Revenues and Opening Cash Balance				\$	2,228,357.13
May Expenses					189,320.30
May 31, 2023 Closing Cash Balance				\$	<b>2,039,036.83</b>
500,000.00 in MM Acct.	National Bank of Malvern	\$	2,039,036.83		
	<b><u>SUMMARY ALL FUNDS</u></b>				
	May-23				
January 1, 2023 Opening Cash Balance		\$	6,672,736.61		
2023 All Budgets		\$	9,887,679.00		
Year-to-Date - Revenues All Funds		\$	4,731,938.14		
Year-to-Date - Expenditures All Funds		\$	3,514,685.78		
May 1, 2023 Opening Cash Balance	All Funds			\$	7,198,007.50
May Revenues					1,661,234.08
Total Revenues and Opening Cash Balances All Funds				\$	8,859,241.58
May Expenses					969,285.61
May 31, 2023 Closing Cash Balance				\$	<b>7,889,955.97</b>
		\$	7,889,955.97		
<b><u>SIDEWALK FEE-IN-LIEU ACCOUNT:</u></b>					
May 1, 2023 Opening Cash Balance				\$	32,853.82
Revenue					36.27
Total Revenues and Opening Cash Balance				\$	32,890.09
Expenses					
May 31, 2023 Closing Cash Balance				\$	<b>32,890.09</b>
<b><u>ARPA 2022 ACCOUNT</u></b>					
May 1, 2023 Opening Cash Balance				\$	221,583.20
Revenue				\$	200.34
Total Revenues and Opening Cash Balance				\$	221,783.54
Expenses				\$	-
May 31, 2023 Closing Cash Balance				\$	<b>221,783.54</b>
<b><u>CONTINGENCY FUNDS:</u></b>					
	<b>General Fund Contingencies</b>				\$311,697.64
	National Bank of Malvern	Interest			\$774.97
		TOTAL			<b>\$312,472.61</b>
	<b>Sewer Fund Contingencies</b>				<b>\$434,669.55</b>
	National Bank of Malvern	Interest			<b>\$1,080.72</b>
					<b>\$435,750.27</b>
<b>TOTAL IN ALL ACCOUNTS</b>				\$	<b>8,892,852.48</b>
	Respectfully Submitted by,				
	Mary Lou Whitcomb				
	Borough Treasurer				

June 20, 2023

To the President and Members  
Malvern Borough Council  
Malvern, PA 19355

Dear Council Members:

We, the undersigned members of the Finance and Administration Committee, submit the following report for the month of May.

Bills to be paid from the General Fund for Finance and Administration in the amount of \$ 73,515.19. Bills to be paid for Tax Collection in the amount of \$ 5,983.22. Bills to be paid for Capital Reserve Fund in the amount of \$ 59,768.08 have been examined and approved for payment.

Respectfully submitted,

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VACANT, Chair

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Amy Finkbiner, Ph.D.

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Joe Bones

June 20, 2023

To the President and Members  
Malvern Borough Council  
Malvern, PA 19355

Dear Council Members:

We, the undersigned members of the Public Safety Committee, submit  
The following report for the month of May.

Bills to be paid from the General Fund for Police in the amount of  
\$ 105,091.21 for Code Enforcement in the amount of \$ 11,274.74 and  
for Malvern Fire Company in the amount of \$ 39,208.19 have been  
Examined and approved for payment.

Respectfully submitted,

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Lynne D. Frederick

---

Brendan Phillips, Chair

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VACANT

June 20, 2023

To the President and Members  
Malvern Borough Council  
Malvern, PA 19355

Dear Council Members:

We, the undersigned members of the Public Works Committee, submit the following report for the month of May.

Bills to be paid from the General Fund for Highways in the amount of \$ 35,501.85. For Trash & Recyclables in the amount \$ 44,990.77, for Park and Recreation in the amount of \$ 7,826.72 have been examined and approved for payment. Bills to be paid from the Sewer Fund in the amount of \$ 89,320.30, have been examined and approved for payment.

Respectfully submitted,

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Joseph Bones, Chair

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Mark Niemiec

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Angela Riccetti



Malvern Borough Accounts Payable

Report Date 06/14/23

Expenditure Budget Status Report  
GL Period 2305

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Acct #	Sub #	Description	Amended Budget	MTD Expended	YTD Expended	Outstanding Encumbered	Unencumbered Balance	Budget% Unused
<b>01</b>		<b>GENERAL FUND</b>						
01400	000	BORO COUNCIL & MAYOR COMPENSATION	9,600.00		2,100.00		7,500.00	78
	001	SALARY - SECRETARY/MANAGER	80,080.00	6,160.00	33,880.00		46,200.00	58
	002	SALARY - TREASURER/ADMIN. ASST.	54,844.00	4,219.20	22,150.81		32,693.19	60
	003	ASSISTANT MANAGER	54,060.00	4,158.73	22,873.00		31,187.00	58
	021	SALARY & WAGES - CLERKS	11,700.00	900.24	3,750.32		7,949.68	68
	033	TELEPHONE & COMMUNICATIONS	7,875.00	1,101.83	5,776.79		2,098.21	27
			218,159.00	16,540.00	90,530.92	0.00	127,628.08	59
01401	000	REAL ESTATE TAX REFUNDS	6,500.00	4,469.78	5,598.47		901.53	14
			6,500.00	4,469.78	5,598.47	0.00	901.53	14
01402	020	MATERIALS & SUPPLIES	5,000.00	224.98	2,243.27		2,756.73	55
	021	CONFERENCES, SEMINARS, MEETINGS	9,500.00	837.76	3,695.81		5,804.19	61
	022	DUES & MEMBERSHIPS	4,200.00	632.45	3,964.73		235.27	6
	023	OFFICE EQUIP. MAINTENANCE & EXPENSE	25,000.00	6,397.93	22,104.41		2,895.59	12
	024	GENERAL EXPENSE	24,750.00	462.86	12,583.70		12,166.30	49
	025	ADVERTISING & PRINTING	12,000.00	965.49	3,727.41		8,272.59	69
	030	AUDITING SERVICES	15,000.00		5,500.00		9,500.00	63
			95,450.00	9,521.47	53,819.33	0.00	41,630.67	44
01403	012	COMMISSIONS-EARNED INC. TAX COLL.	25,000.00	8,370.02	11,376.35		13,623.65	55
	013	EIT TAX COLLECTION STUDY GROUP EXP	500.00				500.00	100
	014	GENERAL EXPENSE	500.00	1.35	66.66		433.34	87
			26,000.00	8,371.37	11,443.01	0.00	14,556.99	56
01404	000	LEGAL SERVICES	145,000.00	34,125.10	84,772.91		60,227.09	42
	002	LEGAL SERVICES-RIGHT-TO-KNOW	65,000.00	12,766.17	34,389.72		30,610.28	47
			210,000.00	46,891.27	119,162.63	0.00	90,837.37	43
01406	200	WORKERS COMPENSATION	12,300.00		5,593.12		6,706.88	55
	220	INCOME PROTECTION INSURANCE	3,085.00	325.89	1,091.83		1,993.17	65
	221	GROUP LIFE INSURANCE	1,729.00	204.12	612.36		1,116.64	65
	222	HOSPITALIZATION INSURANCE	67,388.00	13,531.40	35,319.36		32,068.64	48
	223	DENTAL CARE INSURANCE	4,055.00	1,833.97	3,835.80		219.20	5
	224	SOCIAL SECURITY TAX- BOROUGH	37,841.00	1,883.49	10,080.08		27,760.92	73
			126,398.00	17,778.87	56,532.55	0.00	69,865.45	55
01407	021	OFFICE SUPPLIES	8,000.00	1,099.00	1,897.90		6,102.10	76
	022	COMPUTER SUPPLIES	5,900.00		70.77		5,829.23	99
	025	REPAIRS AND MAINTENANCE	13,100.00	1,821.27	6,624.14		6,475.86	49
	026	SMALL TOOLS AND MINER EQUIPMENT	3,000.00	154.35	428.68		2,571.32	86
			30,000.00	3,074.62	9,021.49	0.00	20,978.51	70

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<b>01</b>		<b>GENERAL FUND</b>						
01408	000	ENGINEERING SERVICES	71,500.00	1,037.50	8,145.68		63,354.32	89
			71,500.00	1,037.50	8,145.68	0.00	63,354.32	89
01409	020	MATERIALS & SUPPLIES	10,000.00	1,066.34	7,637.92		2,362.08	24
	021	UTILITIES	45,500.00	3,071.61	10,234.36		35,265.64	78
	022	GENERAL EXPENSE	3,500.00	329.72	329.72		3,170.28	91
	023	MAINTENANCE & REPAIRS	55,000.00	10,974.39	33,865.82		21,134.18	38
	024	ALARM SYSTEM EXPENSE	560.00		560.04		-0.04	
			114,560.00	15,442.06	52,627.86	0.00	61,932.14	54
01410	010	SALARY - CHIEF OF POLICE	142,061.00	10,928.00	59,557.60		82,503.40	58
	011	SALARY & WAGES - PATROLMEN	631,169.00	46,768.45	233,050.23		398,118.77	63
	012	SALARY & WAGES - CLERICAL	68,120.00	5,240.00	26,200.00		41,920.00	62
	015	SALARY & WAGES-PART TIME PATROLMEN	95,000.00	6,182.00	28,087.50		66,912.50	70
	018	SALARY & WAGES -OVERTIME	75,000.00	2,984.16	25,979.52		49,020.48	65
	019	MAINTENANCE - OFFICE EQUIPMENT	8,000.00	485.32	1,101.69		6,898.31	86
	020	MATERIALS & SUPPLIES	4,000.00		763.09		3,236.91	81
	021	UNIFORMS	11,000.00	3,878.90	4,620.50		6,379.50	58
	022	AMMUNITION	7,000.00	1,967.86	2,008.76		4,991.24	71
	023	TRAINING - EDUCATION	9,000.00	-199.99	632.00		8,368.00	93
	024	ADVERTISING & PRINTING	5,000.00		556.03		4,443.97	89
	025	TELEPHONE & COMMUNICATIONS	7,000.00	987.31	4,027.73		2,972.27	43
	026	VEHICLE MAINTENANCE & REPAIRS	21,000.00	556.45	6,647.99		14,352.01	68
	027	MAINTENANCE - TRAFFIC SIGNALS	4,000.00	280.00	525.00		3,475.00	87
	029	GAS & OIL	16,500.00	1,607.85	6,357.39		10,142.61	62
	030	TIRES	3,000.00	144.85	144.85		2,855.15	95
	031	ENERGY - TRAFFIC LIGHTS	2,000.00	177.14	885.66		1,114.34	56
	032	GENERAL EXPENSE	26,000.00	852.68	12,382.68		13,617.32	52
	042	DUES & MEMBERSHIPS	20,000.00	8,600.00	20,604.02		-604.02	-3
	070	CAPITAL EXPENDITURES	72,500.00		39,182.00		33,318.00	46
	071	IT NETWORKING SERVICES & EXPENSES	21,125.00	1,487.50	3,578.29		17,546.71	83
	072	COMPUTER HARDWARE	13,100.00				13,100.00	100
	200	WORKERS COMPENSATION	11,840.00		5,593.12		6,246.88	53
	220	INCOME PROTECTION SERVICES	6,500.00	923.62	3,090.06		3,409.94	53
	221	GROUP LIFE INSURANCE	3,500.00	604.80	1,814.40		1,685.60	48
	222	HOSPITALIZATION INSURANCE	144,900.00	43,854.10	105,563.00		39,337.00	27
	223	DENTAL CARE INSURANCE	9,000.00	4,496.40	9,214.86		-214.86	-2
	224	SOCIAL SECURITY TAX BOROUGH	72,000.00	5,461.84	28,254.79		43,745.21	61
	228	POLICE PROFESSIONAL LIABILITY INSUR	18,002.00		12,716.18		5,285.82	29
			1,527,317.00	148,269.24	643,138.94	0.00	884,178.06	58
01411	020	CONTRIBUTION VOLUNTEER FIRE COMPANY	132,250.00	33,062.50	33,062.50		99,187.50	75
	021	COST OF FIRE HYDRANTS	22,000.00	3,762.94	8,586.52		13,413.48	61
	022	VOL. FIRE CO. - WATER CONSUMPTION	4,000.00	528.68	627.10		3,372.90	84
	023	STATE WORKERS INS. FD. (SWIF)	46,574.00	4,222.00	17,149.00		29,425.00	63

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<b>01</b>		<b>GENERAL FUND</b>						
01411	099	FOREIGN FIRE INS. MFC	33,000.00				33,000.00	100
			237,824.00	41,576.12	59,425.12	0.00	178,398.88	75
01414	010	SALARIS & WAGES - CODE ENFORCEMENT	136,888.00	9,756.88	49,849.82		87,038.18	64
	020	GENERAL EXPENSE	4,000.00		4,047.94		-47.94	-1
	021	CONTRIBUTION TO PLANNING COMMISSION	2,500.00		262.50		2,237.50	90
	022	CONTRIBUTION TO ZONING BOARD	6,500.00		276.00		6,224.00	96
	023	CONTRIBUTION TO HISTORICAL COMMISS.	3,000.00	349.00	1,834.16		1,165.84	39
	024	CONTR. TO THE ENVIORNMENTAL ADV CO	1,000.00		356.89		643.11	64
	029	DONATION ACCOUNT		418.86	418.86		-418.86	
	221	REFUNDS- ZONING HEARINGS	500.00	750.00	750.00		-250.00	-50
			154,388.00	11,274.74	57,796.17	0.00	96,591.83	63
01415	000	EMERGENCY MANAGEMENT COORDINATOR	500.00		261.30		238.70	48
			500.00	0.00	261.30	0.00	238.70	48
01427	020	CONTRACTED SERVICES	268,750.00	39,593.64	117,325.29		151,424.71	56
	021	LANDFILL FEES & EXPENSES	106,250.00	6,089.49	37,098.41		69,151.59	65
			375,000.00	45,683.13	154,423.70	0.00	220,576.30	59
01430	010	SALARIES & WAGES - HIGHWAYS	242,919.00	18,685.92	101,599.60		141,319.40	58
	018	SALRIES & WAGES-OVERTIME	50,000.00	540.73	1,422.94		48,577.06	97
	020	MATERIALS & SUPPLIES	12,500.00	1,092.05	2,922.71		9,577.29	77
	021	UTILITIES	14,300.00	477.14	2,544.32		11,755.68	82
	022	GENERAL EXPENSE	15,000.00	1,356.88	5,845.83		9,154.17	61
	023	EQUIPMENT RENTALS	4,000.00	318.60	318.60		3,681.40	92
	024	TELEPHONE & COMMUNICATIONS	7,500.00	571.01	3,116.40		4,383.60	59
	025	VEHICLE MAINTENANCE & REPAIRS	12,000.00	1,291.99	3,594.55		8,405.45	70
	026	GAS, OIL & TIRES	15,000.00	1,300.75	4,467.12		10,532.88	70
	027	MINOR EQUIPMENT PURCHASES	2,500.00		374.64		2,125.36	85
	200	WORKERS COMPENSATION	11,840.00		5,593.12		6,246.88	53
	220	INCOME PROTECTION INSURANCE	2,771.00	295.40	1,066.58		1,704.42	62
	221	GROUP LIFE INSURANCE	1,729.00	217.76	653.28		1,075.72	62
	222	HOSPITALIZATION INSURANCE	94,201.00	21,953.19	52,269.34		41,931.66	45
	223	DENTAL CARE INSURANCE	4,127.00	1,961.90	3,977.59		149.41	4
	224	SOCIAL SECURITY TAX - BOROUGH	24,434.00	1,755.76	9,364.07		15,069.93	62
			514,821.00	51,819.08	199,130.69	0.00	315,690.31	61
01432	020	SNOW & ICE REMOVAL	35,000.00		2,117.00		32,883.00	94
			35,000.00	0.00	2,117.00	0.00	32,883.00	94
01433	020	STREET SIGNS & MARKINGS	10,000.00	4,750.00	6,128.52		3,871.48	39

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			10,000.00	4,750.00	6,128.52	0.00	3,871.48	39
01434	020	STREET LIGHTING	30,000.00	1,869.43	10,413.81		19,586.19	65
			30,000.00	1,869.43	10,413.81	0.00	19,586.19	65
01436	020	MAINT. & REPAIRS - SEWERS & DRAINS	3,000.00		500.00		2,500.00	83
	053	STORMWATER FEES	2,000.00		2,000.00			
			5,000.00	0.00	2,500.00	0.00	2,500.00	50
01437	020	REPAIRS TO TOOLS & MACHINERY	2,000.00	223.69	1,742.44		257.56	13
			2,000.00	223.69	1,742.44	0.00	257.56	13
01438	020	MAINTENANCE & REPAIRS - STREETS	10,000.00	47.85	272.80		9,727.20	97
			10,000.00	47.85	272.80	0.00	9,727.20	97
01439	070	CAPITAL EXPENDITURES	59,570.00	48,903.00	48,903.00		10,667.00	18
			59,570.00	48,903.00	48,903.00	0.00	10,667.00	18
01452	020	RECREATIONAL PROGRAMS	15,000.00	1,050.67	4,752.73		10,247.27	68
	021	MAINTENANCE & REPAIRS	10,000.00	799.86	2,416.78		7,583.22	76
			25,000.00	1,850.53	7,169.51	0.00	17,830.49	71
01454	010	SALARIES & WAGES - PARKS & REC.	55,867.00	4,297.68	22,222.99		33,644.01	60
	020	MATERIALS & SUPPLIES	6,500.00		5,438.69		1,061.31	16
	021	GENERAL EXPENSE	6,500.00	1,886.01	3,988.91		2,511.09	39
			68,867.00	6,183.69	31,650.59	0.00	37,216.41	54
01455	020	SHADE TREE MAINTENANCE	17,250.00		1,560.00		15,690.00	91
			17,250.00	0.00	1,560.00	0.00	15,690.00	91
01456	020	CONTRIBUTION TO LIBRARY	12,180.00				12,180.00	100
			12,180.00	0.00	0.00	0.00	12,180.00	100
01483	020	NON-UNIFORMED PENSION FUND	29,120.00				29,120.00	100
			29,120.00	0.00	0.00	0.00	29,120.00	100
01486	026	CASUALTY - GENERAL LIABILITY	12,967.00		11,848.25		1,118.75	9
	027	AUTOMOBILE LIABILITY INSURANCE	3,763.00		3,774.78		-11.78	-0
	029	PUBLIC OFFICIALS LIABILITY INS.	6,776.00		6,716.70		59.30	1

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<b>01</b>		<b>GENERAL FUND</b>						
01486	030	INLAND MARINE INSURANCE	8,559.00		8,530.21		28.79	0
	032	COMMERCIAL PROPERTY INSURANCE	2,200.00		2,263.53		-63.53	-3
			<u>34,265.00</u>	<u>0.00</u>	<u>33,133.47</u>	<u>0.00</u>	<u>1,131.53</u>	<u>3</u>
01489	010	MILITARY & CIVIC CONTRIBUTIONS	43,500.00	5,000.00	5,000.00		38,500.00	89
			<u>43,500.00</u>	<u>5,000.00</u>	<u>5,000.00</u>	<u>0.00</u>	<u>38,500.00</u>	<u>89</u>
01492	011	TRANSFER TO CAPITAL RESERVE FUND	1,427,799.00		657,980.00		769,819.00	54
			<u>1,427,799.00</u>	<u>0.00</u>	<u>657,980.00</u>	<u>0.00</u>	<u>769,819.00</u>	<u>54</u>
01	*****	GENERAL FUND	<u>5,517,968.00</u>	<u>490,577.44</u>	<u>2,329,629.00</u>	<u>0.00</u>	<u>3,188,339.00</u>	<u>58</u>

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<b>08</b>		<b>SEWER FUND</b>						
08429	010	SALARIES & WAGES - SEWER OP & MAINT	154,585.00	17,836.56	70,599.83		83,985.17	54
	020	MATERIALS & SUPPLIES	2,500.00	379.89	1,965.07		534.93	21
	021	UTILITIES	35,000.00	1,819.84	12,457.04		22,542.96	64
	022	MAINTENANCE & REPAIRS	25,000.00	1,850.00	2,944.07		22,055.93	88
	023	VEHICLE MAINTENANCE & REPAIRS	2,500.00		142.95		2,357.05	94
	024	GAS & OIL	4,000.00	297.75	1,177.33		2,822.67	71
	026	SEWAGE DISPOSAL VARIOUS	520,000.00	54,051.00	210,447.08		309,552.92	60
	027	MATERIALS & SUPPLIES	3,000.00				3,000.00	100
	028	GENERAL EXPENSE	15,000.00	2,187.17	14,453.71		546.29	4
	029	ENGINEERING	12,000.00		884.50		11,115.50	93
	030	TELEPHONE & COMMUNICATIONS	6,000.00		4,515.36		1,484.64	25
	031	ALARM SYSTEM EXPENSE	2,000.00				2,000.00	100
	101	SALARIES & WAGES - SEWER ADMIN.	99,303.00	11,607.90	44,530.23		54,772.77	55
			880,888.00	90,030.11	364,117.17	0.00	516,770.83	59
08430	070	CAPITAL EXPENDITURES	15,000.00	90.12	90.12		14,909.88	99
			15,000.00	90.12	90.12	0.00	14,909.88	99
08484	010	AUTOMOBILE INSURANCE	2,280.00		2,518.76		-238.76	-11
	200	WORKMEN'S COMPENSATION	11,840.00		5,593.12		6,246.88	53
			14,120.00	0.00	8,111.88	0.00	6,008.12	43
08486	011	CASUALTY - GENERAL LIABILITY	9,352.00		8,557.07		794.93	9
	013	SOCIAL SECURITY TAX -SEWER - BORO	19,944.00	2,200.03	8,613.03		11,330.97	57
	014	COMMERICAL PROPERTY INSURANCE	6,685.00		7,489.15		-804.15	-12
	015	PUBLIC OFFICIALS LIABILITY INS.	4,312.00		4,412.87		-100.87	-2
	016	DENTAL CARE INSURANCE	5,959.00	1,954.18	4,197.00		1,762.00	30
	017	INCOME PROTECTION INSURANCE	3,904.00	421.30	1,446.05		2,457.95	63
	019	HOSPITALIZATON & PRESCRIPTION INS.	93,937.00	23,094.42	54,453.34		39,483.66	42
	020	GROUP LIFE INSURANCE	2,305.00	281.24	843.72		1,461.28	63
			146,398.00	27,951.17	90,012.23	0.00	56,385.77	39
08	*****	SEWER FUND	1,056,406.00	118,071.40	462,331.40	0.00	594,074.60	56

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<b>20</b>		<b>SEWER CAPITAL RESERVE</b>						
20429	072	REPAIR OF SEWER LATERALS	7,000.00				7,000.00	100
	073	REPAIR JOINTS FOR I & I	75,000.00				75,000.00	100
	074	UPGRADE WET WELL PUMP ST.#2 RUTHLAN	35,000.00				35,000.00	100
	076	CONSTRUCTION FUND-VFSA & TT	50,000.00				50,000.00	100
	077	REPLACE PUMP AT STATION #1 POWELTON	15,000.00				15,000.00	100
			182,000.00	0.00	0.00	0.00	182,000.00	100
20	*****	SEWER CAPITAL RESERVE	182,000.00	0.00	0.00	0.00	182,000.00	100
<b>30</b>		<b>CAPITAL RESERVE FUND</b>						
30400	001	ZONING ORDINANCE AMENDMENTS UPDATE	100,000.00				100,000.00	100
	002	GENERAL CODE REFORMAT OF CODE ORDIN	17,050.00		9,300.00		7,750.00	46
	004	REVIALIZATION & COMPREHENSIVE PLAN	20,000.00		4,511.20		15,488.80	77
			137,050.00	0.00	13,811.20	0.00	123,238.80	90
30409	002	MUNICIPAL BUILDING FENCING & LIGHTI	52,623.00	16,800.00	52,623.00			
			52,623.00	16,800.00	52,623.00	0.00	0.00	0
30410	002	POLICE BODY & CAR CAMERAS	15,000.00	14,590.29	14,590.29		409.71	3
			15,000.00	14,590.29	14,590.29	0.00	409.71	3
30430	001	TRAFFIC ANALYSIS ENGINEER STUDIES	30,000.00	92.50	277.50		29,722.50	99
			30,000.00	92.50	277.50	0.00	29,722.50	99
30434	001	STREET LIGHTING	70,000.00				70,000.00	100
			70,000.00	0.00	0.00	0.00	70,000.00	100
30435	006	RANDOLPH WOODS DEV./M-W GREENWAY TR	250,000.00	1,979.00	7,595.00		242,405.00	97
	012	SIDEWALK IMPROVEMENTS	150,000.00				150,000.00	100
			400,000.00	1,979.00	7,595.00	0.00	392,405.00	98
30437	002	BRIDGE STREET REPAIRS	130,500.00				130,500.00	100
			130,500.00	0.00	0.00	0.00	130,500.00	100
30439	001	OLD LINCOLN HIGHWAY IMPROVEMENTS	650,000.00	579.50	1,342.00		648,658.00	100
	002	TRAFFIC SAFETY IMPROVEMENTS	100,000.00				100,000.00	100
	070	PAVING BOROUGH STREETS	315,000.00	675.00	9,651.50		305,348.50	97
			1,065,000.00	1,254.50	10,993.50	0.00	1,054,006.50	99

Malvern Borough Accounts Payable

Report Date 06/14/23

Expenditure Budget Status Report  
GL Period 2305

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Acct #	Sub #	Description	Amended Budget	MTD Expended	YTD Expended	Outstanding Encumbered	Unencumbered Balance	Budget% Unused
<b>30</b>		<b>CAPITAL RESERVE FUND</b>						
30445	001	Parking Facility Improvements			1,594.39		-1,594.39	
			0.00	0.00	1,594.39	0.00	-1,594.39	0
30446	001	STREAMBANK STABILIZATION	844,150.00	1,116.00	3,417.00		840,733.00	100
	002	Drainage Improvements	50,000.00	682.50	4,820.50		45,179.50	90
			894,150.00	1,798.50	8,237.50	0.00	885,912.50	99
30454	001	Park Improvements	25,000.00		10,865.00		14,135.00	57
	002	QUAN PARK IMPROVEMENTS	326,334.00	37,460.79	94,389.05		231,944.95	71
	003	PUMP TRACK	201,500.00	305.00	1,489.00		200,011.00	99
			552,834.00	37,765.79	106,743.05	0.00	446,090.95	81
30455	001	KING STREET- SHADE TREE PLAN	25,000.00	305.00	671.00		24,329.00	97
			25,000.00	305.00	671.00	0.00	24,329.00	97
30459	000	SIGNAGE THROUGHOUT THE BOROUGH	50,000.00				50,000.00	100
	001	Trail Construction	100,000.00				100,000.00	100
			150,000.00	0.00	0.00	0.00	150,000.00	100
30471	000	DEBT SERVICE PRINCIPAL	32,000.00		32,000.00			
			32,000.00	0.00	32,000.00	0.00	0.00	0
30472	000	DEBT SERVICE INTEREST	484.00		40.32		443.68	92
			484.00	0.00	40.32	0.00	443.68	92
30480	8932	GENERAL EXPENSE	5,000.00				5,000.00	100
			5,000.00	0.00	0.00	0.00	5,000.00	100
<b>30</b>	<b>*****</b>	<b>CAPITAL RESERVE FUND</b>	<b>3,559,641.00</b>	<b>74,585.58</b>	<b>249,176.75</b>	<b>0.00</b>	<b>3,310,464.25</b>	<b>93</b>



Malvern Borough Accounts Payable

Report Date 06/14/23

Expenditure Budget Status Report  
GL Period 2305

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Acct #	Sub #	Description	Amended Budget	MTD Expended	YTD Expended	Outstanding Encumbered	Unencumbered Balance	Budget% Unused
<b>35</b>		<b>HIGHWAY AID FUND</b>						
35492	000	TRANSFER TO GENERAL FUND	50,000.00				50,000.00	100
			50,000.00	0.00	0.00	0.00	50,000.00	100
35	*****	HIGHWAY AID FUND	50,000.00	0.00	0.00	0.00	50,000.00	100
			10,366,015.00	683,234.42	3,041,137.15	0.00	7,324,877.85	71

Legend:

Expenditure Budget Status Report Previewing to your screen

Starting at Fund 01400

MARP03 run by Tiffany Loomis 3 : 03 PM

Acct #	Sub #	Description	Amended Budget	MTD Received	YTD Received	Unrealized Balance	Budget % Realized
01		GENERAL FUND					
01301	000	REAL ESTATE TAXES (CURRENT)	1,185,244.00	248,183.85	1,084,243.14	101,000.86	92
	001	REAL ESTATE TAXES (PRIOR YEARS)			597.53	-597.53	
	002	REAL ESTATE TAXES (DELINQUENT)	8,000.00		6,737.53	1,262.47	84
	003	INTERIM REAL ESTATE TAXES	3,500.00	324.34	844.96	2,655.04	24
			1,196,744.00	248,508.19	1,092,423.16	104,320.84	91
01310	000	PER CAPITA TAX (CURRENT)	11,500.00	4,473.50	9,869.50	1,630.50	86
	001	PER CAPITA TAX (PRIOR YEARS)	3,000.00		836.00	2,164.00	28
	010	REAL ESTATE TRANSFER TAX	184,000.00	20,829.90	186,576.72	-2,576.72	101
	020	EARNED INCOME TAX (CURRENT)	1,600,000.00	597,034.79	644,243.49	955,756.51	40
	021	EARNED INCOME TAX (PRIOR YEARS)	500,000.00		588,966.38	-88,966.38	118
	051	LOCAL SERVICE TAX (CURRENT)	75,000.00	17,300.00	17,300.00	57,700.00	23
	052	LOCAL SERVICE TAX (PRIOR)	50,000.00	14,377.52	53,996.17	-3,996.17	108
			2,423,500.00	654,015.71	1,501,788.26	921,711.74	62
01320	001	BUILDING PERMITS & REGISTRATION	35,000.00	3,459.81	26,101.26	8,898.74	75
	002	PLUMBING PERMITS & REGISTRATIONS	3,000.00	252.00	2,086.00	914.00	70
	003	STREET PERMITS	3,000.00	150.00	1,150.00	1,850.00	38
	004	ZONING & SUBDIVISION PERMITS	5,000.00	1,200.00	3,025.00	1,975.00	61
	006	FRANCHISE FEE - COMCAST	82,000.00	19,381.53	39,321.88	42,678.12	48
	007	HOUSING & PROPERTY MAINTENANCE FEES	38,000.00	375.00	23,350.00	14,650.00	62
	071	INSPECTION FEES	10,000.00	600.00	3,625.00	6,375.00	36
			176,000.00	25,418.34	98,659.14	77,340.86	56
01321	033	PARKING PERMITS	2,000.00	50.00	1,622.00	378.00	81
			2,000.00	50.00	1,622.00	378.00	81
01330	000	VIOLATIONS OF ORDINANCES	3,000.00	445.36	1,823.03	1,176.97	61
	001	MOTOR VEHICLE CODE VIOL. / CRIMINAL	15,000.00	2,177.54	6,586.73	8,413.27	44
	002	FALSE ALARM PENALTIES	1,000.00		150.90	849.10	15
			19,000.00	2,622.90	8,560.66	10,439.34	45
01341	000	EARNINGS ON INVESTMENTS	12,000.00	14,946.23	38,910.32	-26,910.32	324
			12,000.00	14,946.23	38,910.32	-26,910.32	324
01342	000	RENTS OF PROPERTY	78,750.00	6,467.25	32,036.25	46,713.75	41
			78,750.00	6,467.25	32,036.25	46,713.75	41
01355	002	GRANTS FROM COUNTY FOR SPECIAL PROJ			31,104.87	-31,104.87	
			0.00	0.00	31,104.87	-31,104.87	0

Acct #	Sub #	Description	Amended Budget	MTD Received	YTD Received	Unrealized Balance	Budget % Realized
01		GENERAL FUND					
01362	000	POLICE SPECIAL DUTY	10,000.00		2,600.00	7,400.00	26
			10,000.00	0.00	2,600.00	7,400.00	26
01379	000	MISCELLANEOUS INCOME	35,000.00	275.00	18,511.22	16,488.78	53
	002	PD AUTO. PROT. DEVICE ALARM REGIST.	3,000.00	25.00	1,685.89	1,314.11	56
	003	PD COPIES OF ACCIDENT/MISC. REPORTS	400.00	120.00	255.00	145.00	64
	004	MISCELLANEOUS TAX CERTIFICATION & D	4,500.00	145.00	2,995.00	1,505.00	67
			42,900.00	565.00	23,447.11	19,452.89	55
01395	000	REFUNDS	3,500.00		42,508.30	-39,008.30	1215
			3,500.00	0.00	42,508.30	-39,008.30	1215
01	*****	GENERAL FUND	3,964,394.00	952,593.62	2,873,660.07	1,090,733.93	72

Acct #	Sub #	Description	Amended Budget	MTD Received	YTD Received	Unrealized Balance	Budget % Realized
08		SEWER FUND					
08341	000	EARNINGS FROM INVESTMENTS	9,000.00	3,824.44	15,889.51	-6,889.51	177
			9,000.00	3,824.44	15,889.51	-6,889.51	177
08364	010	SEWER RENTS	1,018,180.00	198,445.75	443,313.91	574,866.09	44
	011	TAPPING & SEWER CONNECTION FEES	5,717.00	2,585.45	2,585.45	3,131.55	45
	012	OTHER INCOME - PENALTIES & INTEREST	40,000.00		325.00	39,675.00	1
			1,063,897.00	201,031.20	446,224.36	617,672.64	42
08	*****	SEWER FUND	1,072,897.00	204,855.64	462,113.87	610,783.13	43

Acct #	Sub #	Description	Amended Budget	MTD Received	YTD Received	Unrealized Balance	Budget % Realized
30		CAPITAL RESERVE FUND					
30340	000	EARNINGS FROM INVESTMENTS	2,500.00	1,226.48	4,068.34	-1,568.34	163
			2,500.00	1,226.48	4,068.34	-1,568.34	163
30392	001	TRANSFER FROM GENERAL FUND	1,427,799.00		657,980.00	769,819.00	46
			1,427,799.00	0.00	657,980.00	769,819.00	46
30	*****	CAPITAL RESERVE FUND	1,430,299.00	1,226.48	662,048.34	768,250.66	46
35		HIGHWAY AID FUND					
35341	000	EARNINGS FROM INVESTMENTS	1,000.00	283.32	1,146.06	-146.06	115
			1,000.00	283.32	1,146.06	-146.06	115
35355	005	STATE MOTOR LICENSE FUND GRANT	84,646.00		95,535.80	-10,889.80	113
			84,646.00	0.00	95,535.80	-10,889.80	113
35	*****	HIGHWAY AID FUND	85,646.00	283.32	96,681.86	-11,035.86	113
			6,553,236.00	1,158,959.06	4,094,504.14	2,458,731.86	62

## **PUBLIC WORKS SUPERINTENDENT REPORT**

**May 2023**

### **STREET DEPT:**

Trash containers on King Street and all Public Parks are cleaned out weekly on Monday, Wednesday and Friday. Doggie Bags dispenser are filled.

Cleaned storm drains

18 Mark outs were received from Pa One Call and completed.

Repaired various street signs.

Repaired various Pot Holes.

Street sweeper was run thru out Borough.

Repaired various street lights.

Cut grass at all parks and Paoli Battlefield.

Dug out and expanded flower bed For Monarch Butterfly Garden.

Installed water bags around 22 new trees, and filled as needed.

Watered flowers on King Street poles every Monday, Wednesday and Friday.

All window cells were covered with aluminum capping at Borough hall.

### **SEWER DEPT:**

Pump stations were checked daily.

Pumped 10,464.700 gallons to Valley Forge Sewer Authority.

Cleaned out wet well at pump stations.

### **SHOP:**

Service and inspection on Police.

Service on lawn equipment.

Received new 2023 pick-up for public works.

Respectfully submitted,  
Ira Dutter, Jr.  
Superintendent of Public Works

Louis M. Marcelli  
Chief of Police

# MALVERN BOROUGH POLICE DEPARTMENT



**Date:** June 1, 2023  
**To:** Mayor Uzman  
Members of Borough Council  
**From:** Louis M. Marcelli, Chief of Police  
**Subject:** MONTHLY REPORT – May 2023

During the month of March 2023, Members of the Police Department received 355 calls for service. Of the 300 calls, there was 0- Part I Crime and 1-Part II Crimes. The Members of the Department made 0 Criminal arrest for the month.

**Traffic Enforcement:**

Traffic Citations – 29; Warnings –36; Parking Tickets – 7 and Ordinances – 0.

**Alarms:**

There were 1 police, 2 fire alarms and 0 EMS alarm.

**EMS, Medical and Ambulance:**

There was a total of 20 calls.

**Accidents:**

There were 6 property, 2 hit and run, 0 vehicle versus pedestrian, and 2 reportable crash for the month.

**Assistance to Malvern Police Department:**

The Police Department received assistance from other Departments on 2 occasions.

**1 East First Avenue, Suite 1, Malvern, PA 19355**  
**Police Radio: 610-647-1440 | Office: 610-647-0261 | Fax: 610-647-6166**  
**Email: [police@malvern.org](mailto:police@malvern.org)**

Louis M. Marcelli  
Chief of Police

# MALVERN BOROUGH POLICE DEPARTMENT



## Assistance to Other Departments:

Members of the Department responded to assist other Departments on 4 occasions for miscellaneous police related issues.

## House Checks:

There were 28 house checks for the month.

## Fingerprinting:

3 individuals were printed for employment purposes.

## Training:

May 1<sup>st</sup>-5<sup>th</sup>- Ofc. Capuano attended Crisis Intervention Training

May 5<sup>th</sup>- Ofc. Wilson attended an online training course through the Commercial Vehicle Safety Alliance.

May 10<sup>th</sup>- Ofc. Keating completed Police One Academy Report Writing 1 and Report Writing 2 online course.

May 11<sup>th</sup>- Ofc. Capuano completed the Police One Academy Report Writing 1, Report Writing 2 online, and Driving Safety for First Responders.

May 11<sup>th</sup>- Ofc. Dougherty completed the Police One Academy Report Writing 1 and Report Writing 2 online.

May 15<sup>th</sup>- Ofc. Wilson completed the Police One Academy Report Writing 1 and Report Writing 2 online.

May 16<sup>th</sup>- Cpl. Dougherty attended the JNET JTAC/TAC training held at the PSP Academy in Hershey.

cc: Tiffany Loomis  
Borough Manager

**1 East First Avenue, Suite 1, Malvern, PA 19355**  
**Police Radio: 610-647-1440 | Office: 610-647-0261 | Fax: 610-647-6166**  
**Email: [police@malvern.org](mailto:police@malvern.org)**



**ARPA COMMITTEE RECOMMENDATIONS & EXPENDITURE STATUS AS OF JUNE 15, 2023**

CATEGORY	TOTAL AMOUNT DESIGNATED TO BE RELEASED	TRANSACTIONS	REMAINING BALANCE	NOTES
<p><b><u>Borough Hall Renovations including but not limited to:</u></b>                      Fence in Police Rear Access - <b>COMPLETED</b>                      Lighting of Police Area - <b>COMPLETED</b>                      Upgrade 3 Police Cars w/ Charging Capabilities - <b>COMPLETED</b>                      Charging Station for Police Cars - <b>COMPLETED</b>                      Sound System Upgrade - <b>COMPLETED</b>                      LED Lighting for all Borough Buildings - <b>COMPLETED</b>                      Upgrade Sound System - <b>COMPLETED</b></p>	\$ 40,000.00	<p><b>\$3,000</b> - Upgrade 3 Police Cars w/ Charging Capabilities - 5/17/2022 (\$2,775 processed for payment in August 2022 for electrical work to be completed)</p> <p><b>\$13,200</b> - Fence in Police Rear Access/ Lighting &amp; Camera including electrical work 6/7/2022 (\$4,081.20 &amp; \$2,453.34 processed for payment in August 2022 for electrical work)</p> <p>(Fence Purchase &amp; Installation totaling \$8,122.13 - A deposit of \$4,061.07 was paid July 11, 2022. The remaining balance is paid upon the work being completed - WORK TO BE COMPLETED IN OCTOBER/ NOVEMBER) <b>THE REMAINDER TO BE PAID FROM WORKERS COMPENSTATION INSURANCE GRANT &amp; BUILDING MAINTENANCE IN THE GENERAL FUND.</b></p> <p><b>\$1,277.15</b> paid 9/28 for Light Pole to Stairs.</p> <p>A deposit of <b>\$1,196</b> was paid in July for the Sound System. <b>The Sound System has been installed and the invoice will be received shortly totaling \$23,449</b> - Sound System approved by Borough Council on 6/21/2022</p>	\$ 707.24	NONE
<p><b><u>Library Renovations including but not limited to:</u></b>                      Carpet Tiles                      Painting the Library                      Foyer Renovations                      Shared Bathroom Renovations                      AC System to be repaired</p>	\$ 40,000.00	NONE	\$ 40,000.00	NONE
<p><b><u>Economic Revitalization including but not limited to:</u></b>                      Main Street Manager for King Street                      Potential WIFI Hot Spots                      Craft &amp; Mercantile Event - Scheduled for 9/16/22 - <b>COMPLETED</b>                      Craft &amp; Mercantile Event - Scheduled for 9/15/23 - <b>PENDING</b></p>	\$ 106,600.00	<p><b>\$5,000</b> - Craft &amp; Mercantile Event - 4/5/2022  <b>\$6,000</b> - MBPA for Lighting Installation - 10/18/2022  <b>\$3,000</b> - POLICE DETAIL for SURFIN' USA event scheduled for 5/6/2023 ESTIMATE = 5 Hours w/ 6 Police Officers  <b>\$5,550</b> - Craft&amp; Mercantile Event scheduled for 9/15/2023</p>	\$ 87,050.00	<p align="center"><b>WORKING ON MAIN STREET MANAGER INITIATIVE</b></p> <p><b>\$400</b> deducted from spending account total due to Composting Program costing an additional \$800. Split additional cost between two (2) remaining available categories.</p>
<p><b><u>Public Works Capital Improvement Program including but no limited to:</u></b>                      Stormwater Issues - <b>ON GOING</b>                      2022 Road Program - <b>COMPLETED</b></p>	\$ 106,600.00	<p><b>\$25,000</b> - 2022 Road Program - 6/7/2022 - PAID IN AUGUST 2022                      POST OFFICE STORMWATER PIPE - <b>\$9,500</b> - INVOICES RECEIVED &amp; PAID WORK COMPLETED ON OCTOBER 11, 2022</p>	\$ 72,100.00	<p><b>\$400</b> deducted from spending account total due to Composting Program costing an additional \$800. Split additional cost between two (2) remaining available categories.</p>
<p><b>Quann Park - COMPLETED</b></p>	\$ 20,000.00	<p><b>\$20,000</b> - Park Improvements for DCNR Grant Match - 4/19/2022 PAID IN AUGUST 2022</p>	\$ 20,000.00	<b>COMPLETED</b>
<p>Composting Program - Originally \$10k was budgeted for this item. \$800 additional funds were needed. \$400 each was deducted from Stormwater and Economic Revitalization to balance the funds that are allowed to spent.</p>	\$ 10,800.00	<p>Borough Council approved the composting pilot program at their January 3, 2023 meeting - <b>\$10,800</b> Authorized from ARPA Funds <b>\$900</b> paid as of May 10, 2023</p>	\$ 900.00	<b>COMPLETED</b>
<p><b>Malvern Fire Company - Purchase of EMS Gear COMPLETED</b></p>	\$ 36,883.00	<p><b>\$36,883</b> - EMS GEAR - 10/19/2022</p>	\$ -	<b>COMPLETED</b>



# RTKL LOG - June 15, 2023

Case #	Request Date	Date Received	Requestor	Records Requested	Borough Responder	Response	
						Date	Extension
RTK-2023-019	2/24/2023	2/24/2023	Chris Buckley	A copy of all invoices received and/or paid by Malvern Borough from 2015 until February 24, 2023 related to the Pump Park and/or Bike Trail Project.	Tiffany Loomis	3/31/2023	Y
RTK-2023-020	3/8/2023	3/8/2023	Danny Fruchter	For the Year 2023: The accounting including all sources of income and receivers of all expenditures, for each Charity campaign in which the Malvern Police participated.	Corinne Badman	4/13/2023	Y
RTK-2023-021	3/8/2023	3/8/2023	Joe Lorusso	All emails and documented communications between SHELLY GEORGOPULOS and Members of the Malvern Borough Council including Malvern Borough Employees and the Malvern Borough Manager (Tiffany Loomis) and the time period requested is from January 1, 2019 to March 6, 2023.	Corinne Badman	4/14/2023	Y
RTK-2023-022	3/20/2023	3/20/2023	Michael Romano	Residential building permits filed for February 2023	Tiffany Loomis	3/27/2023	N
RTK-2023-023	3/21/2023	3/21/2023	Danny Fruchter	All documents, affidavits and attachments filed with the Borough during 2022 and 2023 regarding or connected to the appointment and nomination for election of Lynne Frederick for Borough Councilor.	Tiffany Loomis	4/24/2023	Y
RTK-2023-024	3/23/2023	3/23/2023	Danny Fruchter	Commonwealth of PA Ethics Commission's Official Statement of Financial Interests filed in 2022 and 2021 by Lentz, Cantor, the Borough's Appointed Solicitor.	Tiffany Loomis	3/28/2023	N
RTK-2023-025	3/29/2023	3/29/2023	Janis Faris	An electronic file (ie Excel, PDF, Word) of any and all employees including part-time, temporary, seasonal employees and elected officials for year of 2022 (fiscal or calendar year). Each employee record should contain the year of compensation, first name, middle initial, last name, hire date (mm-dd-yyyy), base salary amount, bonus amount, overtime amount, gross annual wages and position title.	Corinne Badman	5/2/2023	Y
OOB AP 2022-2803	3/6/2023	3/6/2023	OOB	Breuer appeal granted in part for all grant information to be provided digitally on a thumb drive	Tiffany Loomis	4/5/2023	N/A
RTK-2023-027	3/31/2023	3/31/2023	Joseph Lorusso	31, 2023 pertinent to and solely about the "subject matter" of the Pump Park and/or Bike Path proposed to be built on the parcel 2-4-316 also known as the First Avenue Pump Park or Bike Trail Park (name used by the Malvern Borough Council in numerous Agendas). Requesting Email communications between Amy Finkbinder, Mark Niemiec, Brendan Phillips, Manager Tiffany Loomis and Assistant Manager Corrine Badman and the following individuals and or group: Dan Daley, Shelly Georgopoulos, Mark Hinckley, Keri Hinckley, Amanda Snyder, Erika Gross, Bob O'Neil, Melissa Kiely, Jonathan Georgopoulos, Scott Snyder, Suzanne Lowe, Suzanne Clancy, Chris Scott, Samuel Song, Soo Park, GV Mountain Bike Team, Wendy Dembrak, Matthew McGuire.	Corinne Badman	5/5/2023	Yes
OOB AP 2023-0442	3/31/2023	3/31/2023	OOB	Lorusso appeal granted in part to provide all professional services contracts from January 2020 onward. <b>Borough filed Appeal.</b>	Tiffany Loomis	4/30/2023	N/A
RTK-2023-028	4/1/2023	4/3/2023	Danny Fruchter	Body Camera Footage of 5/19/2022 shooting that involved MBPD at Charleston Greene	Tiffany Loomis	4/10/2023	N
RTK-2023-029	4/4/2023	4/4/2023	Reva Alderman	Any and All property records for 3 Pennsylvania Avenue identified as UPI# 2-3-8.1A consisting of 1.3 acres of land, including but no limited to building permits, license and inspection records, U&O records, stoage tank permits, emergency spill response records, and any building diagrams.	Corinne Badman	4/20/2023	Yes
RTK-2023-030	4/14/2023	4/14/2023	Danny Fruchter	For the Year 2022: The accounting, including all sources of income and receivers of all expenditures, for each Charity campaign in which the Malvern Police participated	Corinne Badman	4/20/2023	No
RTK-2023-031	4/24/2023	4/24/2023	Allium Data	A copy of the last property and casualty renewal summary for all lines of insurance purchased by the city (general liability, auto, workers comp, professional, directors and officers, etc). This document summarizes the insurance terms, limits, deductibles, premiums, and exclusions. 2. A copy of the last employee benefits insurance renewal summary for health, dental, and vision plans sponsored by the city. This document shows plan options available to the city's employees and the pricing for employee, employee plus spouse, and employee plus family.	Corinne Badman	5/18/2023	Yes

**RESOLUTION NO. 846**

**BOROUGH OF MALVERN  
CHESTER COUNTY, PENNSYLVANIA**

**WHEREAS**, a Resolution of the Borough Council (“Council”) of the Borough of Malvern (the “Borough”), Chester County, Commonwealth of Pennsylvania, approving, subject to conditions, the plan entitled “Preliminary/Final Site Plans Malvern Preparatory School Athletic Facility Improvements at 418 S. Warren Ave.”, prepared by Terraform Engineering, LLC, dated February 7, 2023, last revised April 27, 2023, consisting of nineteen (19) sheets (the “Plan”). The applicant, Malvern Preparatory School (the “Applicant”), is proposing improvements to parcel 2-7-34, 418 S. Warren Avenue (the “Property”), Malvern, Pennsylvania, known as Malvern Preparatory School, to the athletic fields on the Property. The Applicant has submitted a plan to reconstruct two existing ballfields (grass field to synthetic turf field) and construct a 15-space parking lot on the Property. The Plan proposed is pursuant to the Malvern Borough Subdivision & Land Development Ordinance of 2006 (“Land Development Ordinance”) for the development of the Property located in the Borough in the I1- Institutional District.

**BACKGROUND**

**WHEREAS**, Applicant has filed an application (the “Application”) with the Borough for approval of the Plan. This Resolution No. 846 is the Borough’s written decision on the Application and Plan.

**WHEREAS**, the Plan proposes converting two grass athletic fields to synthetic turf, new bleachers and dugouts, a new parking facility, new walkways, and two underground stormwater basins. As stated above, the Plan proposed is pursuant to the Borough’s Land Development Ordinance.

**WHEREAS**, the Plan was reviewed by the Borough Engineer and the Borough Planning Commission. At its meeting on June 1, 2023, the Borough Planning Commission recommended that the Plan be approved as a preliminary/final plan conditioned upon compliance with the comments contained in the Borough Engineer’s review letter dated May 25, 2023, including the revised requested waivers referenced in the Applicant’s April 14, 2023, letter.

**MATTERS RESOLVED**

**NOW, THEREFORE**, Borough Council hereby RESOLVES that the Plan is approved as a preliminary/final plan pursuant to the Land Development Ordinance and subject to the waiver relief and conditions set forth herein below.

## WAIVERS

Borough Council determines that the following waivers from the Land Development Ordinance are in the public interest and will, subject to the conditions imposed herein, substantially secure the objectives of the standards or requirements so modified:

1. Section 300.B and 300.C to waive the requirement to submit the Plan as a preliminary and then final application. **GRANTED**
2. Section 301.E to waive the need for the four-step design process. **GRANTED**
3. Section 402.B(2)(k) to approve relief from the requirement to show the locations and dimensions of all existing streets, railroads, sewers and sewage systems, water mains and feeder lines, fire hydrants, gas, electric, and oil transmission lines, watercourses, sources of water supply, easements, and other significant features within the property, or such driveways, intersections and utilities, within 100 feet of any part of the subject lot or tract on the plan. **GRANTED**
4. Section 402.B(4)(j) to approve relief from the requirement of having the location of existing and/or proposed sidewalks, paths, and trails throughout the property and on neighboring property within 100 feet. **GRANTED**

**WHEREAS**, this approval is also subject to the following conditions, which shall bind the Applicant, the property owners and their heirs, successors, and assigns:

1. Compliance with the Borough Engineer's review letter dated May 25, 2023.
2. The Applicant shall employ auxiliary police and other auxiliary traffic control resources, subject to the approval of the Chief of Police of the Borough, to mitigate potential traffic problems at larger events.
3. The Applicant shall submit a plan, at least once per academic year, to the Borough, identifying potential high-traffic and parking events and specifying the Applicant's plans for mitigation.
4. Prior to Plan recordation, Applicant shall execute a Stormwater Controls and Best Management Practices Operations and Maintenance Agreement (which shall be recorded with evidence thereof provided to the Borough), a Developer's Agreement, and a Financial Security Agreement, together with the posting of adequate escrow to guarantee the required public improvements, in form satisfactory to the Borough Solicitor.

Applicant shall ensure recording of the Plan, consisting of nineteen (19) plan sheets, with evidence thereof provided to the Borough.

**RESOLVED** this 20<sup>th</sup> day of June, 2023, by Borough Council:

this 20<sup>th</sup> day of June, 2023.

\_\_\_\_\_  
Amy Finkbiner, PhD, President

Approved by the Mayor,

this 20<sup>th</sup> day of June, 2023.

\_\_\_\_\_  
Zeyn B. Uzman, Mayor

Enacted,

This 20<sup>th</sup> day of June, 2023.

\_\_\_\_\_  
Tiffany M. Loomis, Secretary

I, Tiffany M. Loomis, duly qualified Secretary of the Borough of Malvern, Chester County, Pennsylvania, hereby certify that the forgoing is a true and correct copy of a Resolution duly adopted by a majority vote of the Borough of Council of the Borough of Malvern, Pennsylvania, at a regular meeting held June 20, 2023, and said Resolution has been recorded in the Minutes of the Borough of Malvern and remains in effect as of this date.

**IN WITNESS THEREOF**, I affix my hand and attach the seal of the Borough of Malvern, this 20<sup>th</sup> day of June, 2023.

Tiffany M. Loomis, Secretary



**EDWARD B. WALSH & ASSOCIATES, INC.**  
*Complete Civil Engineering Design / Consultation Services*  
Whiteland Business Park  
855 Springdale Drive, Suite 202  
Exton, PA 19341

May 25, 2023

Ms. Tiffany Loomis, Borough Manager  
Malvern Borough  
1 E. 1<sup>st</sup> Avenue - Suite 3  
Malvern, PA 19355

Re: Malvern Preparatory School  
Athletic Field Improvements  
EBWA Project #2780-5  
Review #2 – Preliminary / Final Plan

Dear Ms. Loomis:

In accordance with Malvern Borough's request, I have reviewed the above referenced project for compliance with the Borough's Zoning, Subdivision and Stormwater Management Ordinances. The following information was submitted for review:

1. Preliminary / Final Site Plans Malvern Preparatory School Athletic Facility Improvements at 418 S Warren Avenue, prepared by Terraform Engineering, LLC., dated February 7, 2023, last revised April 27, 2023, sheets 1-19.
2. Post Construction Storm Water Management Analysis for Malvern Preparatory School Athletic Facility Improvements, prepared by Terraform Engineering, LLC., dated February 7, 2023, last revised April 14, 2023.
3. Terraform Engineering response letter dated May 3, 2023.
4. Terraform Engineering Waiver Request letter dated April 14, 2023.
5. Terraform Engineering Steep Slope Clarification Letter dated April 10, 2023.
6. Existing Resource and Site Analysis Plan Supplement dated April 14, 2023.
7. Existing Above Ground Basin Analysis prepared by Terraform Engineering, LLC. dated April 14, 2023.
8. Erosion and Sedimentation Control Plan Narrative for Malvern Preparatory School Athletic Facility Improvements, prepared by Terraform Engineering, LLC. dated February 6, 2023.

Malvern Prep is proposing improvements to their campus at 418 South Warren Avenue including the following:

- Reconstruct two existing ballfields (grass field to synthetic turf field).
- 15-space parking lot adjacent to the field improvements.

**REGISTERED PROFESSIONAL ENGINEERS & LAND SURVEYORS**  
*Pennsylvania, New Jersey, Delaware & Maryland*  
610-903-0060 FAX 610-903-0080  
[www.ebwalshinc.com](http://www.ebwalshinc.com)  
Established 1985

- Bleacher, dugouts and walkway improvements.
- Stormwater Improvements.

The following comments and recommendations are offered for the Borough’s consideration of the project:

### **Zoning Ordinance**

6. Section 2308 – Fences and Walls – *Fences and walls may be erected, altered, and maintained within the yards, excluding required buffer yards, provided that any such fence in the front yard shall not exceed 3.5 feet in height; and any fence or wall in the side or rear yard shall not exceed six feet in height.* The applicant is proposing to construct an eight-foot high outfield fence, new backstop fencing, and four-foot high fencing with 20’ netting around the multi-use field.

The applicant must review this requirement with the Borough to determine if a variance is required for the fencing. The yard setback is 200-feet in this district. Interpretations from the Borough are required if backstop and ballfield fencing is considered a traditional fence. This issue was reviewed during the 2010 athletic field improvement project but I am unclear on the final interpretation at that time.

**This item is pending. The zoning issues have been reviewed with the Borough staff and the Malvern Prep team, and a resolution has not been determined at this time.**

7. Section 2309 – Buffering and Screening - Based upon various tree removal work completed in the past (maintenance of existing trees along Paoli Pike complete by the Prep) and the proposed removal of trees adjacent to the baseball field outfield fence, EBWA recommends the Prep be required to install additional buffering plantings along Paoli Pike. Per Section 2309.A.4, buffering shall be provided *where otherwise determined by the Borough Council upon recommendation from the Borough Planning Commission.*

**Additional buffering has been provided on the plan and should be reviewed with the Planning Commission.**

8. Section 2401.B – Institutional accessory structures.  
Per Section 2401, *the following may be permitted as accessory uses in addition to a permitted principal use in a district, but must always be incidental and subordinate to the principal use. The accessory use shall be located in the rear or side yard of the lot and shall be located no further forward than the front line of the principal building..... In all other zoning districts, the minimum setback for an accessory use shall be not less than seven feet from the lot lines. Accessory uses shall have a maximum height of 15 feet and shall specifically be deemed accessory in accordance with the following terms....*



May 25, 2023

Ms. Tiffany Loomis, Borough Manager

Malvern Borough

Re: Malvern Preparatory School  
Athletic Field Improvements  
Review #2 – Preliminary / Final Plan

Page 3 of 5

- a. The applicant is proposing to relocate an existing shed as part of this project. The proposed location will be near the left field foul pole. The applicant must review the shed location with the Zoning Officer as the proposed location may not be permitted in a front yard (Paoli Pike).

**This item is resolved. The shed has been removed from the plan.**

- b. The applicant is proposing various structures onsite include bleachers and dugouts for the two fields. The applicant must review the proposed improvements with the Zoning Officer as to determine if the placement is permitted in accordance with Section 2401 for the accessory use. There are existing bleachers and dugouts within the project area.

**This item is pending further consultation with the Borough staff and the legal counsel for the Malvern Prep.**

10. Article XXVI – Signs. Clarification must be provided regarding any proposed improvements to signage including the scoreboards for both fields.

**As reviewed with the design engineer, the existing scoreboard for the baseball field is being relocated from centerfield to left field. The Borough and my office finds this acceptable.**

### **Subdivision Ordinance**

1. Section 300.B&C –

- a. The applicant has noted this project to be a Major Land Development application per the application package. Applicant has submitted the plans under a preliminary / final application. A waiver to allow the project to be submitted as a preliminary / final application in lieu of separate applications must be requested by the Applicant.

**A waiver has been requested and the waiver approval is pending.**

- c. The Borough Fire Marshal must review the application. EBWA recommends the applicant review the construction specifications for the concrete walks to determine if it is sufficient to permit emergency vehicle access to the fields.

**The Borough Fire Marshal approval is pending.**

3. Section 301.E – The Applicant shall submit maps indicating the findings of each step of the Four-Step Design Process, if so requested by the Planning Commission or the

Borough Council. Based upon the scope of the project, I recommend the applicant discuss a waiver request with the Planning Commission.

**A waiver has been requested and the waiver approval is pending.**

7. Section 402.B.2.g – The total tract boundaries showing bearings and distances and along all existing rights-of-way within and adjacent to the tract prepared by a registered professional land surveyor must be noted on the plan. Per Section 402.A.2, the error of closure shall be noted on the plan and shall not exceed one part per 10,000.

**Notes must be added to the plan (C201) regarding the source of the data for the provided boundary information and the intent of the plan.**

9. Section 402.B.2.k – I recommend a waiver be requested for relief of the requirement to show the locations and dimensions of all existing streets, railroads, sewers and sewage systems, water mains and feeder lines, fire hydrants, gas, electric, and oil transmission lines, watercourses, sources of water supply, easements, and other significant features within the property, or such driveways, intersections and utilities, within 100 feet of any part of the subject lot or tract. Based upon the size of the lot and the proposed scope of work, I have no objection to not requiring these items be depicted.

**A waiver has been requested and the waiver approval is pending.**

10. Section 402.B.2.t - A boundary survey and certification as to the accuracy of the survey shall be provided for all land developments.

**This item has not been adequately addressed. The design engineer has referenced notes on Sheet C201 but they are not indicated on the plan.**

13. Section 402.B.4.j – I recommend a waiver be requested for relief of the requirement to depict the location of existing and/or proposed sidewalks, paths and trails throughout the property and on neighboring property within 100 feet.

**A waiver has been requested and the waiver approval is pending.**

16. Section 517 – Stormwater Management Ordinance – 2014-61, Adopted May 20, 2014.

- j. Section 706 - Municipal Stormwater Control and BMP Operation and Maintenance Fund. Persons installing stormwater controls or BMPs shall be required to pay a specified amount to the Municipal Stormwater Control and BMP Operation and Maintenance Fund to help cover the costs of periodic inspections and maintenance expenses in accordance with Section 706 of the Ordinance.

May 25, 2023  
Ms. Tiffany Loomis, Borough Manager  
Malvern Borough  
Re: Malvern Preparatory School  
Athletic Field Improvements  
Review #2 – Preliminary / Final Plan  
Page 5 of 5

**This item will be addressed with the agreements after the final approval is granted.**

17. Section 518 – Erosion and Sedimentation Control.

- f. The proposed limit of disturbance is in excess of one (1) acre. A PA DEP NPDES permit must be obtained by the applicant. A copy of the permit must be supplied to the Borough prior to the final plan recordation.

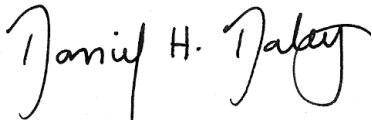
**This item is pending.**

19. Section 526 – Grading. *Fills toeing out on natural slopes steeper than one vertical unit to three horizontal units shall not be made unless approved by the Borough after receipt of a report, deemed acceptable by the Borough Engineer, by a soils engineer certifying that he/she has investigated the property and made soil tests and that in his/her opinion such steeper slopes will safely support the proposed fill.* The design engineer is proposing slopes greater than 3:1 around the perimeter of the fields. Additional information must be provided as noted in Section 526 of the SALDO for review and approval.

**This item is pending.**

The applicant or design engineer must address the above comments prior to re-submission. If you should have any questions or require any additional information, please do not hesitate to contact me.

Very truly yours,  
EDWARD B. WALSH & ASSOCIATES, INC.  
Malvern Borough Engineers



Daniel H. Daley, P.E.

cc: Kenneth D. Kynett, Esq., PC Solicitor  
Bill Wilfong, Malvern Borough  
Corinne Badman, Malvern Borough  
Terraform Engineering, LLC.  
Malvern Prep

# PRELIMINARY/FINAL SITE PLANS

## MALVERN PREPARATORY SCHOOL ATHLETIC FACILITY IMPROVEMENTS

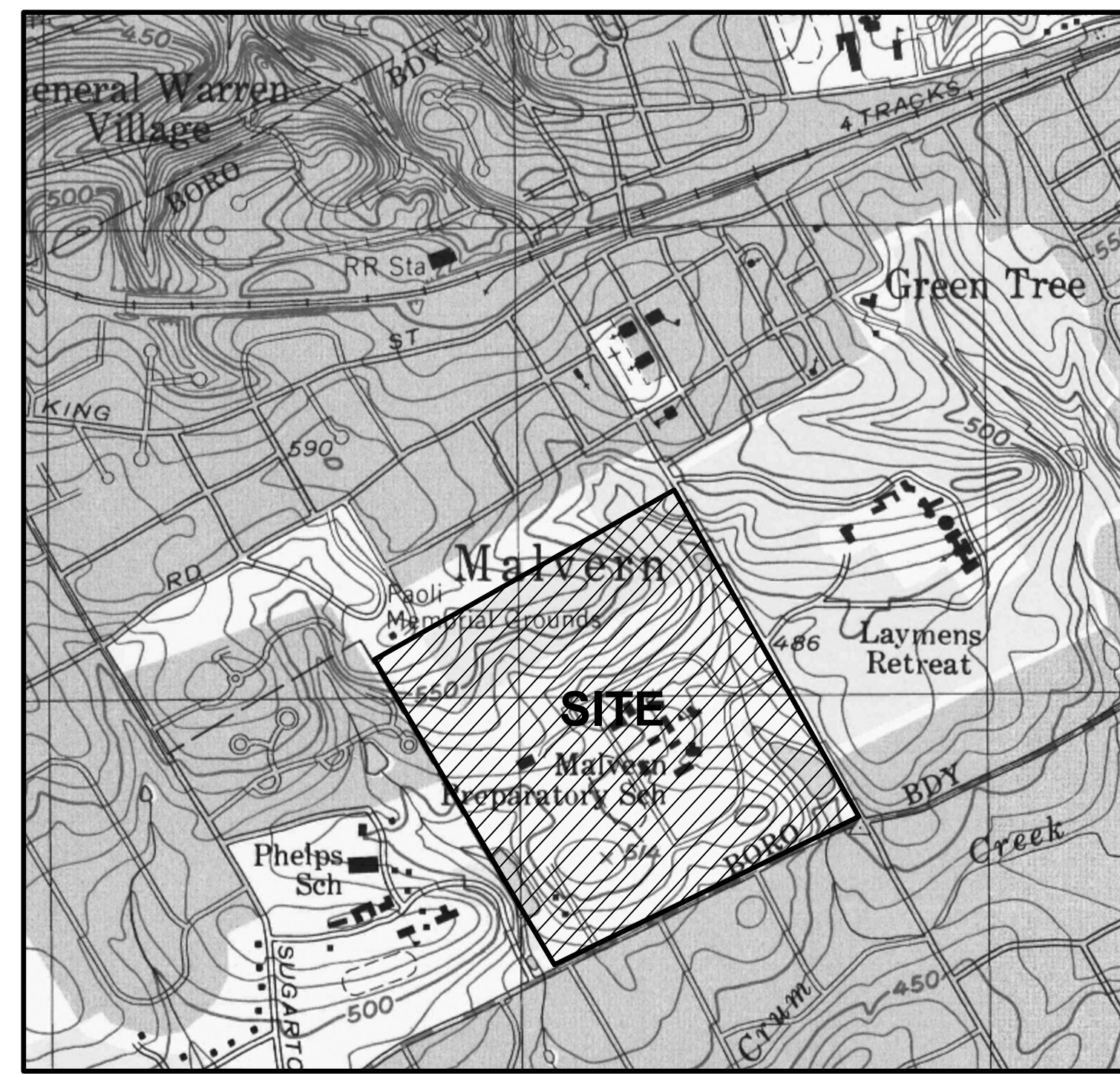
### AT

### 418 S WARREN AVE MALVERN, PA 19355

### CHESTER COUNTY PENNSYLVANIA

SHEET LIST TABLE		
SHEET NUMBER	SHEET DESCRIPTION	SHEET TITLE
* 1	C0.00	COVER SHEET
2	C1.01	EXISTING RESOURCE AND SITE ANALYSIS PLAN
3	C1.02	DEMOLITION PLAN
4	C2.01	OVERALL SITE PLAN
* 5	C2.02	SITE PLAN
6	C3.01	GRADING AND UTILITY PLAN
7	C3.02	GRADING AND UTILITY PLAN-DETAIL GRADING
8	C4.01	PROFILE - STORM
9	C5.01	SITE LANDSCAPING PLAN
10	C5.02	SITE LIGHTING PLAN
11	C5.03	SITE LIGHTING DETAIL
12	C6.01	EROSION & SEDIMENT CONTROL PLAN
13	C6.02	EROSION & SEDIMENT CONTROL DETAILS
* 14	C7.01	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN/ O&M PLAN
15	C7.02	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS/ O&M DETAILS
16	C8.01	SITE CONSTRUCTION DETAILS
17	C8.02	SITE CONSTRUCTION DETAILS
18	DM1	PRE-DEVELOPMENT DRAINAGE MAP
19	DM2	POST-DEVELOPMENT DRAINAGE MAP

\* DESIGNATES PLANS TO BE RECORDED



LOCATION MAP  
SCALE: 1" = 1,000'



ZONING MAP  
SCALE: 1" = 1,000'

- R1 - RESIDENTIAL
- R2 - RESIDENTIAL
- R3A - RESIDENTIAL
- R3B - RESIDENTIAL
- R4 - RESIDENTIAL
- R5 - RESIDENTIAL
- R6 - RESIDENTIAL
- R7 - RESIDENTIAL
- C1 - COMMERCIAL
- C2 - COMMERCIAL
- C3 - COMMERCIAL
- C4 - COMMERCIAL RESIDENTIAL
- I1 - INSTITUTIONAL
- I2 - INSTITUTIONAL
- I3 - INSTITUTIONAL
- I4 - INSTITUTIONAL
- LI - LIMITED INDUSTRIAL
- LI1 - LIMITED INDUSTRIAL
- POSC - PUBLIC OPEN SPACE AND CONSERVATION

#### CHESTER COUNTY PLANNING COMMISSION

REVIEW BY THE CHESTER COUNTY PLANNING COMMISSION  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.  
COPC FILE # \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### BOROUGH OF MALVERN ENGINEER REVIEW

REVIEWED BY THE BOROUGH OF MALVERN ENGINEER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BOROUGH ENGINEER \_\_\_\_\_

#### BOROUGH OF MALVERN PLANNING COMMISSION APPROVAL

MALVERN, CHESTER COUNTY, PA  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

#### BOROUGH COUNCIL APPROVAL

REVIEWED BY THE REVIEWED BY THE BOROUGH COUNCIL OF THE BOROUGH OF MALVERN, CHESTER COUNTY, PA.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BOROUGH COUNCIL PRESIDENT \_\_\_\_\_  
BOROUGH MANAGER \_\_\_\_\_

#### COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

SS: THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, AD, 2023, BEFORE ME, THE SUBSCRIBER, NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA RESIDING IN \_\_\_\_\_ PERSONALLY

APPEARED \_\_\_\_\_ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW

NOTARY PUBLIC: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

OWNER \_\_\_\_\_

#### WAIVERS REQUESTED

- CHAPTER 181, §300.B.8.C. - WAIVER TO ALLOW A PRELIMINARY/FINAL REVIEW/APPROVAL PROCESS IN LIEU OF SEPARATE PRELIMINARY AND FINAL PLAN APPROVAL PROCESSES.
- CHAPTER 181, §301.E. - WAIVER OF THE FOUR-STEP PROCESS AND BE PERMITTED TO PROCEED WITH THE PRELIMINARY/FINAL REVIEW PROCESS.
- CHAPTER 181, §402.B.2.K. - WAIVER OF REQUIREMENT TO SHOW ALL EXISTING STREETS, RAILROADS, SEWERS AND SEWAGE SYSTEMS, WATER MAINS AND FEEDER LINES, FIRE HYDRANTS, GAS ELECTRICS, AND OIL TRANSMISSION LINES, WATERCOURSES, SOURCES OF WATER SUPPLY EASEMENTS, AND OTHER SIGNIFICANT FEATURES WITHIN THE PROPERTY, OR SUCH DRIVEWAY, INTERSECTION AND UTILITIES, WITHIN 100 FEET OF ANY PART OF THE SUBJECT PROPERTY.
- CHAPTER 181, §402.B.4.J. - WAIVER OF REQUIREMENT TO SHOW EXISTING AND/OR PROPOSED SIDEWALKS, PATHS, AND TRAILS THROUGHOUT THE PROPERTY AND ON NEIGHBORING PROPERTY WITHIN 100 FEET OF THE PROPERTY.

#### STATEMENT OF INTENDED USE

CONSTRUCTION OF SYNTHETIC FIELDS TO REPLACE THE EXISTING GRASS ATHLETIC FIELDS IN THE SOUTHWEST CORNER OF THE SITE. CONSTRUCTION OF AN ADDITIONAL 15 PARKING SPACES PROVIDED FOR CONVENIENCE OF ACCESS TO THE FIELDS. CONSTRUCTION OF ADDITIONAL WALKWAY AND CONGREGATION SPACE AROUND THE ATHLETIC FACILITIES.

PLEASE NOTE THAT THIS DEVELOPMENT WILL NOT RESULT IN AN INCREASE IN THE STAFF OR STUDENT POPULATION OF THE SCHOOL.

#### STORMWATER BLANKET EASEMENT

THE PROPERTY OWNER, AND ANY HEIR, SUCCESSOR OR ASSIGN (THE "OWNER") WHERE ANY STORMWATER FACILITY IS LOCATED SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER FACILITIES LOCATED ON THAT PARCEL AND GRANTS THE BOROUGH A BLANKET EASEMENT FOR THE PURPOSES OF ENSURING PROPER STORMWATER FACILITY MAINTENANCE OCCURS. THE OWNER SHALL MAINTAIN THE STORMWATER FACILITIES, FOR WHICH THE PROPERTY OWNER IS RESPONSIBLE, IN A CONDITION WHICH IS STRUCTURALLY SOUND AND FUNCTIONAL AND IN COMPLIANCE WITH ALL REGULATIONS AND SHALL NOT CAUSE OR ALLOW ANY SUCH FACILITY TO BE ALTERED, REMOVED, SILED UP, OVERGROWN AND/OR TO FAIL TO FUNCTION AS DESIGNED AND/OR AS REQUIRED BY APPLICABLE REGULATIONS. THIS BLANKET EASEMENT GRANTS THE BOROUGH THE RIGHT TO ENTER THE PROPERTY AND INSPECT THE STORMWATER FACILITIES. IF THE OWNER FAILS TO MAINTAIN THE STORMWATER FACILITIES, UPON NOTIFICATION BY THE BOROUGH, THE OWNER, AS PROMPTLY AS POSSIBLE, SHALL CORRECT, REPAIR, RECONSTRUCT AND/OR REPLACE SUCH FACILITY TO ACHIEVE AND MAINTAIN THE FACILITY'S DESIGN SPECIFICATIONS, FUNCTIONS AND ITS COMPLIANCE WITH ALL APPLICABLE REGULATIONS. IF THE OWNER FAILS TO SO RESTORE AND/OR CORRECT THE STORMWATER FACILITY, WITHIN THE TIME SPECIFIED BY THE BOROUGH, THE CONDITION OF THE STORMWATER FACILITY SHALL BE A PUBLIC NUISANCE AND THE BOROUGH SHALL HAVE THE FREE RIGHT TO ENTER UPON THE PROPERTY AND TO DO SUCH REPAIRS, MAINTENANCE, REPLACEMENT AND/OR RECONSTRUCTION AS THE BOROUGH DETERMINES NECESSARY WITH RESPECT TO SUCH STORMWATER FACILITY. ALL SUCH CORRECTIVE REPAIRS, RECONSTRUCTION AND/OR REPLACEMENT AND THE DESIGN COSTS THEREOF SHALL BE AT THE EXPENSE OF THE OWNER JOINTLY AND SEVERALLY. THE BOROUGH MAY LIEN AND EXECUTE ON THE PROPERTY (AS A MUNICIPAL CLAIM AND LIEN AND/OR IN ANY OTHER MANNER PROVIDED BY LAW) FOR THE COST OF ALL SUCH WORK, INCLUDING ANY ENGINEERING AND DESIGN COST, AND FOR ATTORNEYS' FEES FOR ENFORCEMENT AND COLLECTION.

#### REQUIRED REGULATORY APPROVALS LIST

- THE FOLLOWING REGULATORY APPROVALS ARE REQUIRED:
- CHESTER COUNTY CONSERVATION DISTRICT E&S ADOQUACY
  - THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES PERMIT
  - MALVERN BOROUGH

#### ZONING DATA

ZONING DISTRICT: INSTITUTIONAL (I1)  
EXIST/PROP USE: MIDDLE AND HIGH SCHOOL CAMPUS (6-12 GRADE)

	BEGD	EXIST_COND	PROP_COND
MIN LOT AREA:	20,000 SF	99.63 AC	99.63 AC
MIN LOT WIDTH:	N/A	N/A	N/A
MIN BLDG SETBACKS:			
FRONT YARD:	200'	>200'	>200'
SIDE YARD (EACH):	200'	>200'	>200'
REAR YARD:	200'	>200'	>200'
PARKING:	20'	>20'	>20'
LOADING:	20'	>20'	>20'
INTERNAL STREETS:	20'	>20'	>20'
MAX BLDG HEIGHT:	35'/3 STORIES	35'/3 STORIES	35'/3 STORIES
MIN BLDG SEPARATION:	2X HEIGHT OF TALLEST BUILDING/ 75' MIN	<15%	<15%
MAX BLDG COVERAGE:	15%	4.16% (4.14 Ac)	4.16% (4.14 Ac)
MAX IMP SURF RATIO:	25%	17.92% (17.85 Ac)	20.35% (20.27 Ac)

#### PARKING REQUIREMENTS

STALL SIZE: 9'x20' REQ'D; 9'x20' PROPOSED  
STAFF: 1 SPACE / EMPLOYEE  
STUDENT - GRADE K-9: 1 SPACE PER 20 STUDENTS  
STUDENTS - GRADE 10-12: 1 SPACE PER 10 STUDENTS

REQUIRED PARKING: 145 EMPLOYEE - 145 SPACES  
274 STUDENTS (GRADE K-9) - 14 SPACES  
379 STUDENTS (GRADE 10-12) - 38 SPACES  
TOTAL REQUIRED = 179 SPACES

EXISTING PARKING: 376 SPACES  
PROPOSED PARKING: 391 SPACES

THIS DEVELOPMENT WILL NOT RESULT IN AN INCREASE IN THE STAFF OR STUDENT POPULATION AND THEREFORE WILL NOT REQUIRE ADDITION PARKING. THE PROPOSED ADDITIONAL SPACES ARE ONLY PROVIDED FOR CONVENIENCE.

#### SITE DATA

OWNER/DEVELOPER: CCIDA C/O MALVERN PREPARATORY SCHOOL  
MALVERN PREPARATORY SCHOOL  
418 SOUTH WARREN AVENUE  
MALVERN, PA 19355-2707  
PHN: 484-595-1100  
SITE ADDRESS: 418 S WARREN AVE,  
MALVERN, PA 19355  
TAX MAP: 02-07-0034.000E  
SITE AREA: 99.63 AC

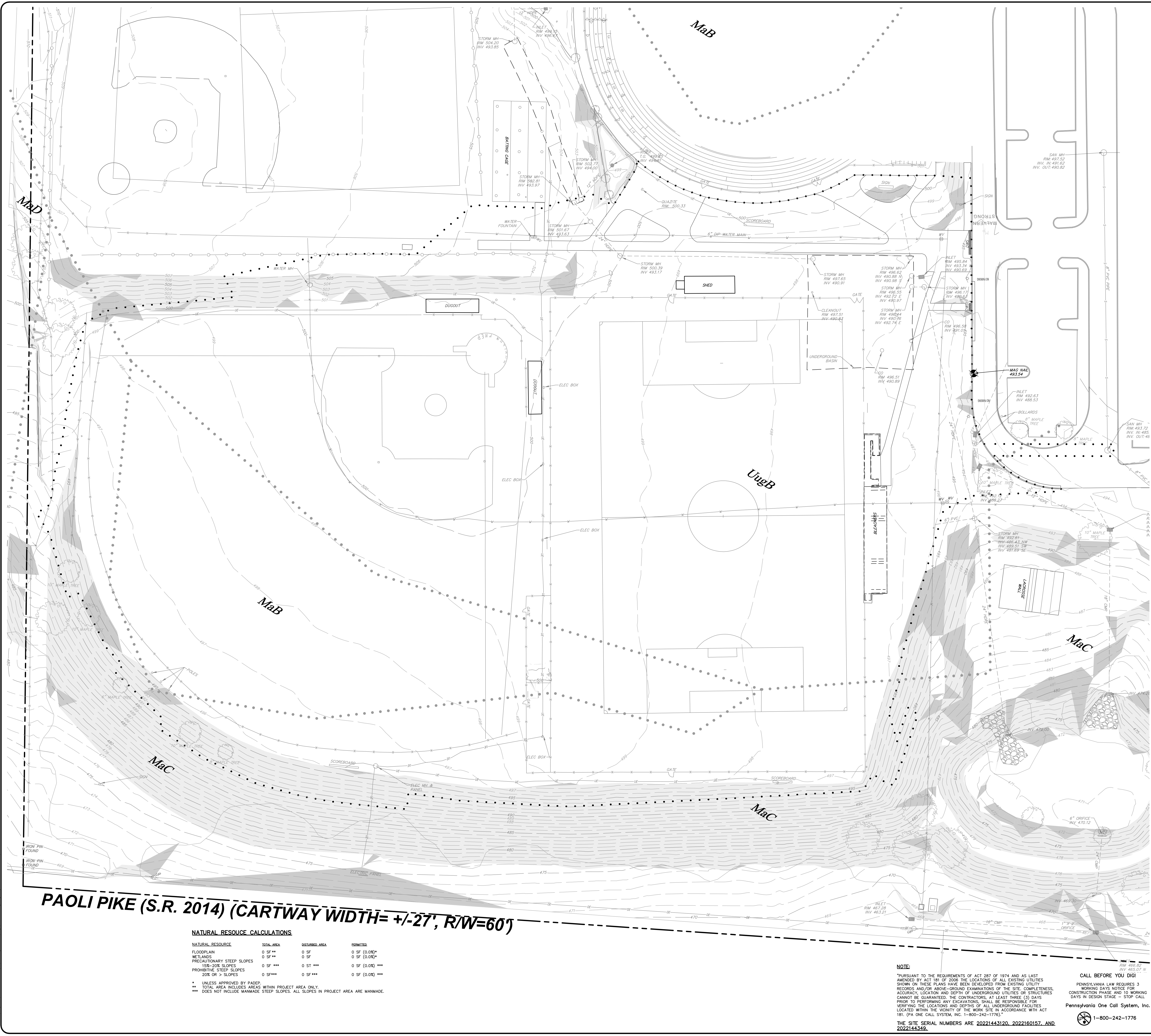
Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**erraform Engineering, LLC**  
ONE EAST BROAD STREET, SUITE 530  
BETHLEHEM, PA 18018  
PHONE: 610-665-1452 www.erraformengineering.com

PRELIMINARY/FINAL  
MALVERN PREPARATORY SCHOOL  
MALVERN PENNSYLVANIA  
PRELIMINARY / FINAL  
ATHLETIC FACILITY IMPROVEMENTS  
COVER SHEET

**D'HUY Engineering, Inc.**  
CONSULTING ENGINEERS: Project Management | Facilities Engineering | Structural Design & Analysis | Forensic Engineering  
DEI  
One East Broad Street, Bethlehem, PA, 18018  
(610)665-2000 • (610)665-2000 ext. 2 • www.dhuy.com

Drawn: GAS Appd.: JQM  
Date: 02/07/2023  
Scale:  
Job No. 848001  
Drawing No. 1 of 19  
**C0.00**



Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-485-1452 www.terraformengineering.com

PRELIMINARY/FINAL  
 MALVERN PREPARATORY SCHOOL  
 MALVERN PENNSYLVANIA  
 PRELIMINARY/ FINAL  
 ATHLETIC FACILITY IMPROVEMENTS  
 EXISTING RESOURCE AND SITE ANALYSIS PLAN

**D'UY Engineering, Inc.**  
 CONSULTING ENGINEERS: Project Management | Facilities Engineering | Structural Design & Analysis | Forensic Engineering  
 One East Broad Street, Bethlehem, PA, 18018  
 (610)662-3000 • (610)662-0100 • www.duy.com

Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: 1" = 30'  
 Job No. 848001  
 Drawing No. 2 of 19  
**C101**

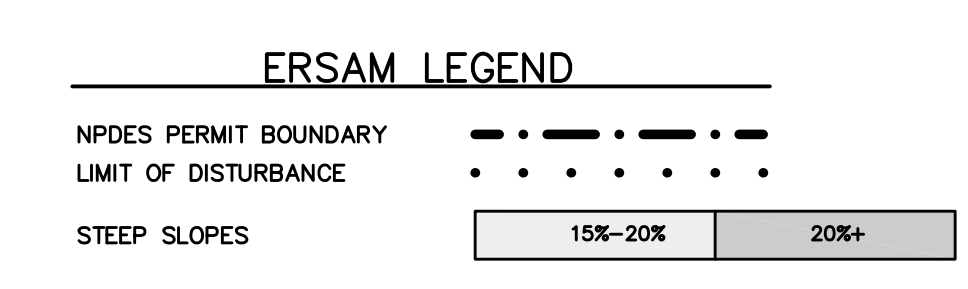
**SUPPLEMENTAL ERSAP NOTES:**  
 1. ADDITIONAL INFORMATION RELATED TO THE ERSAP IS PROVIDED IN THE EXISTING RESOURCE AND SITE ANALYSIS PLAN SUPPLEMENT DATED APRIL 14, 2023 AND PREPARED BY TERRAFORM ENGINEERING.

**SURVEY NOTES:**  
 1. TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PERFORMED BY OTT CONSULTING, INC. ON JUNE 2022.  
 2. HORIZONTAL DATUM IS BASED UPON PENNSYLVANIA STATE PLANE SOUTH ZONE 3702 (NAD 83).  
 3. VERTICAL DATUM IS BASED UPON NAVD 88.  
 4. THIS SURVEY IS SUBJECT TO EASEMENTS OF RECORD AND ANY OTHER PERTINENT FACTS WHICH A TITLE SEARCH MAY DISCLOSE.  
 5. UTILITY LOCATIONS SHOWN HEREON ARE FROM ABOVE GROUND OBSERVATIONS AND MARK OUT OR PROVIDED PLANS AS ORDERED THROUGH THE "PA ONE CALL" SERIAL NO. 20221443120, 20221443141, 20221443178. THE TYPE AND LOCATION OF THE UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE USER OF THIS SURVEY IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY.  
 6. IF DIGITAL INFORMATION IS ALSO SUPPLIED, IT IS DONE SO FOR INFORMATIONAL PURPOSES ONLY. THE ORIGINAL SIGNED AND SEALED DOCUMENT IS THE DOCUMENT OF RECORD.  
 7. BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM DEEDS AND MAPS OF RECORD.

**MAP REFERENCES:**  
 1. A PLAN SET ENTITLED "MALVERN PREPARATORY SCHOOL" PREPARED BY CHESTER VALLEY ENGINEERS, DATED 02/11/10.

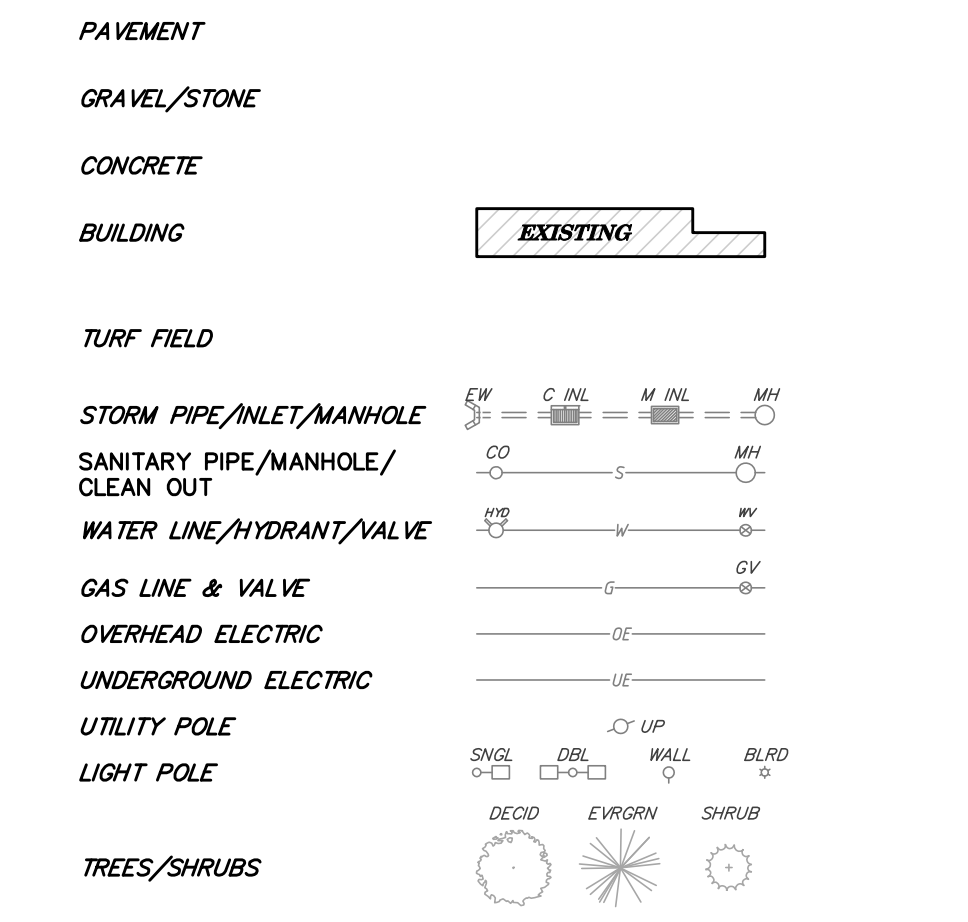
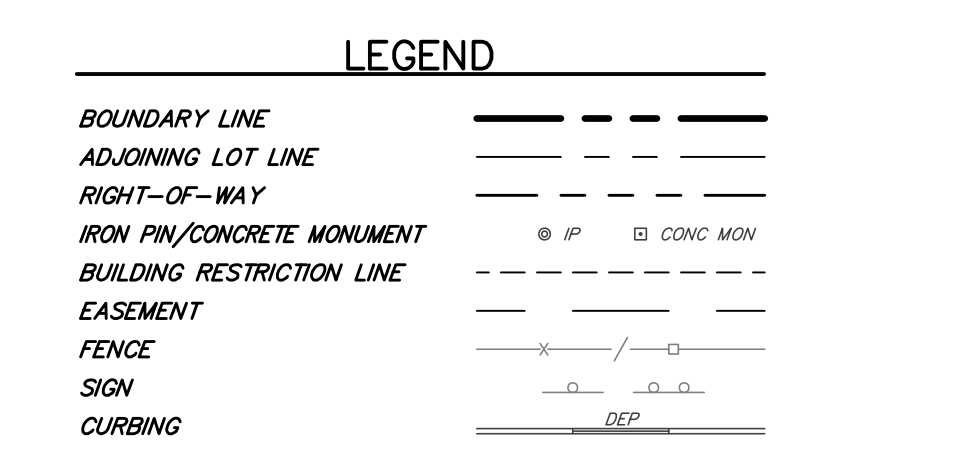
**WETLANDS CERTIFICATION**  
 NO WETLANDS ARE PRESENT WITHIN THE PROJECT AREA

**FLOODPLAIN REFERENCE NOTE**  
 A PORTION OF THE PROPERTY IS LOCATED IN FLOOD ZONE 'A', WHICH REPRESENTS AREAS DETERMINED TO BE WITHIN THE 100 YEAR FLOOD PLAIN. NOTE THAT NO DISTURBANCE OF ANY PROPERTY LOCATED WITHIN ZONE 'A' IS PROPOSED WITH THIS PROJECT. A PORTION OF THE PROPERTY IS LOCATED IN FLOOD ZONE 'X', AREAS DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOOD PLAIN AS REFERENCED TO NATIONAL FLOOD INSURANCE RATE MAP 4200201006, EFFECTIVE DATE OF 09/22/2017.

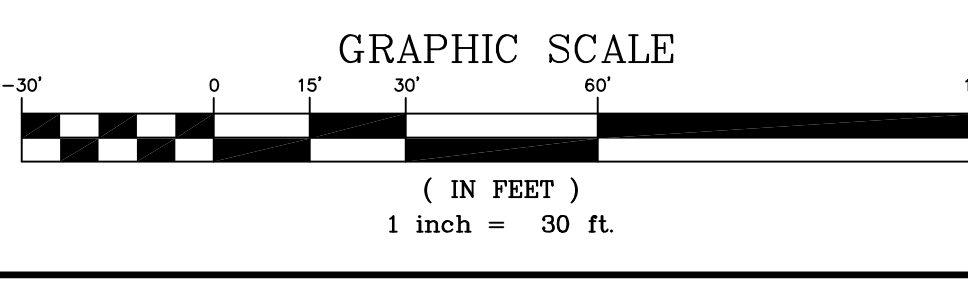


**SOIL CLASSIFICATIONS**

**MaB** MANDP LOAM, 3%-8% SLOPES, HSG B  
**MaC** MANDP LOAM, 8%-12% SLOPES, HSG B  
**MaD** MANDP LOAM, 12%-25% SLOPES, HSG B  
**UugB** URBAN LAND-DEVELOPMENTS, SOFT AND MEDIUM CLAYEY, 0%-8% SLOPES, HSG C



**GENERAL PLAN TEXT NOTE:**  
 VERTICAL TEXT INDICATES PROPOSED FEATURES  
 SLANTED TEXT INDICATES EXISTING FEATURES



**NATURAL RESOURCE CALCULATIONS**

NATURAL RESOURCE	TOTAL AREA	DISTURBED AREA	PERMITTED
FLOODPLAIN	0 SF **	0 SF	0 SF (0.0%)*
WETLANDS	0 SF **	0 SF	0 SF (0.0%)*
PRECAUTIONARY STEEP SLOPES	0 SF ***	0 SF ***	0 SF (0.0%) ***
15%-20% SLOPES	0 SF ***	0 SF ***	0 SF (0.0%) ***
PROHIBITIVE STEEP SLOPES	0 SF ***	0 SF ***	0 SF (0.0%) ***
20% OR > SLOPES	0 SF ***	0 SF ***	0 SF (0.0%) ***

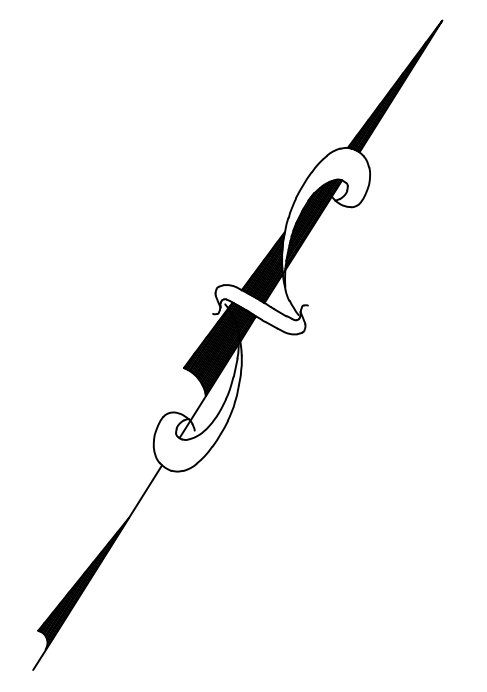
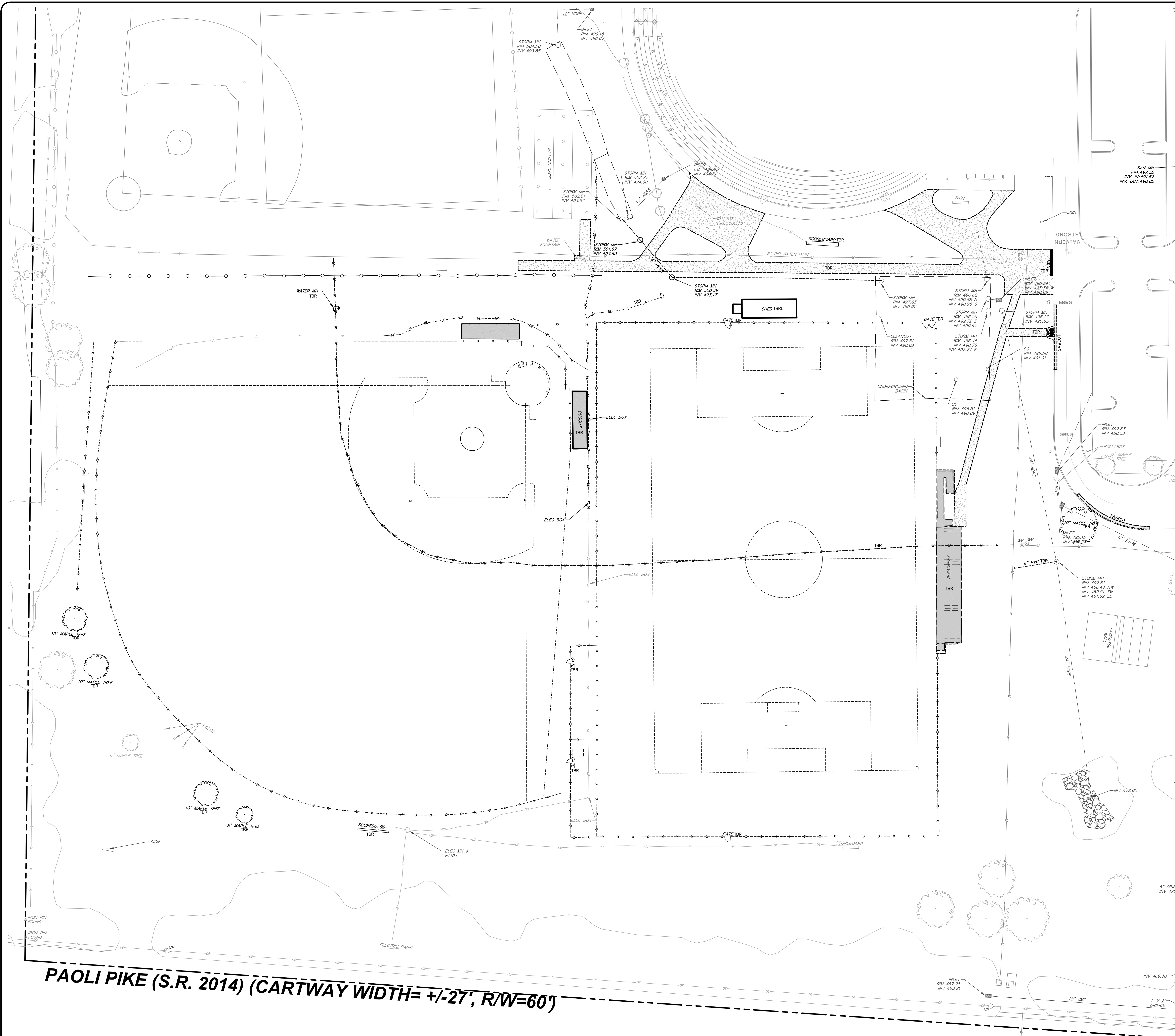
\* UNLESS APPROVED BY PADEP  
 \*\* TOTAL AREA INCLUDES AREAS WITHIN PROJECT AREA ONLY.  
 \*\*\* DOES NOT INCLUDE MANMADE STEEP SLOPES. ALL SLOPES IN PROJECT AREA ARE MANMADE.

**NOTE:**  
 PURSUANT TO THE REQUIREMENTS OF ACT 287 OF 1974 AND AS LAST AMENDED BY ACT 181 OF 2006 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 181. (PA ONE CALL SYSTEM, INC. 1-800-242-1776).

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL  
 Pennsylvania One Call System, Inc.  
 1-800-242-1776

THE SITE SERIAL NUMBERS ARE 20221443120, 20221601517, AND 20221443149.

E:\projects\2023\malvern-preparatory-school\DWG\ERSAP.dwg - 02/07/2023 - 3:10pm

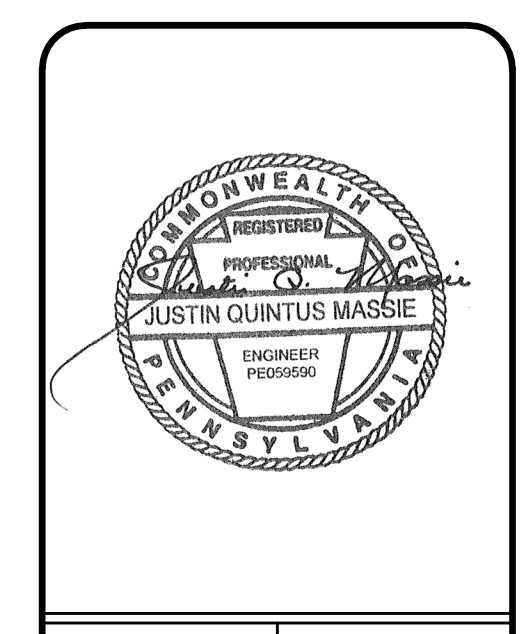


Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-488-1452 www.terraformengineering.com

MALVERN	PENNSYLVANIA
	MALVERN PREPARATORY SCHOOL
MALVERN	PRELIMINARY / FINAL
	ATHLETIC FACILITY IMPROVEMENTS
DEMOLITION PLAN	

**D'HUY Engineering, Inc.**  
 CONSULTING ENGINEERS: Project Management | Facilities Engineering  
 Structural Design & Analysis | Forensic Engineering  
 One East Broad Street, Bethlehem, PA, 18018  
 (610)662-5000 • (610)662-0100 • www.dhuy.com



Drawn: GAS	Appd.: JQM
Date: 02/07/2023	
Scale: 1" = 30'	
Job No. 848001	
Drawn No. C102	3 of 19

### DEMOLITION LEGEND

BUILDING/CANOPY DEMO	[Symbol]
PAVING DEMO	[Symbol]
GRAVEL/STONE DEMO	[Symbol]
CONC SIDEWALK DEMO	[Symbol]
DEBRIS/JUNK AREA DEMO	[Symbol]
WOODED/BRUSH AREA DEMO	[Symbol]
TREE/SHRUB DEMO	[Symbol]
TREE PROTECTION FENCE	[Symbol]
TO BE ABANDONED	TBA
TO BE REMOVED	TBR
TO BE REMOVED & RELOCATED	TBRL

### LEGEND

BOUNDARY LINE	[Symbol]
ADJOINING LOT LINE	[Symbol]
RIGHT-OF-WAY	[Symbol]
IRON PIN/CONCRETE MONUMENT	[Symbol]
BUILDING RESTRICTION LINE	[Symbol]
EASEMENT	[Symbol]
FENCE	[Symbol]
SIGN	[Symbol]
CURBING	[Symbol]
PAVEMENT	[Symbol]
GRAVEL/STONE	[Symbol]
CONCRETE	[Symbol]
BUILDING	[Symbol]
TURF FIELD	[Symbol]
STORM PIPE/INLET/MANHOLE	[Symbol]
SANITARY PIPE/MANHOLE/CLEAN OUT	[Symbol]
WATER LINE/HYDRANT/VALVE	[Symbol]
GAS LINE & VALVE	[Symbol]
OVERHEAD ELECTRIC	[Symbol]
UNDERGROUND ELECTRIC	[Symbol]
UTILITY POLE	[Symbol]
LIGHT POLE	[Symbol]
TREES/SHRUBS	[Symbol]
TREE LINE	[Symbol]
CONTOUR	[Symbol]
SPOT	[Symbol]
SOILS	[Symbol]

**PAOLI PIKE (S.R. 2014) (CARTWAY WIDTH= +/-27', R/W=60')**

**NOTE:**  
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 THE SITE SERIAL NUMBERS ARE 20221443120, 2022160157, AND 2022144349.

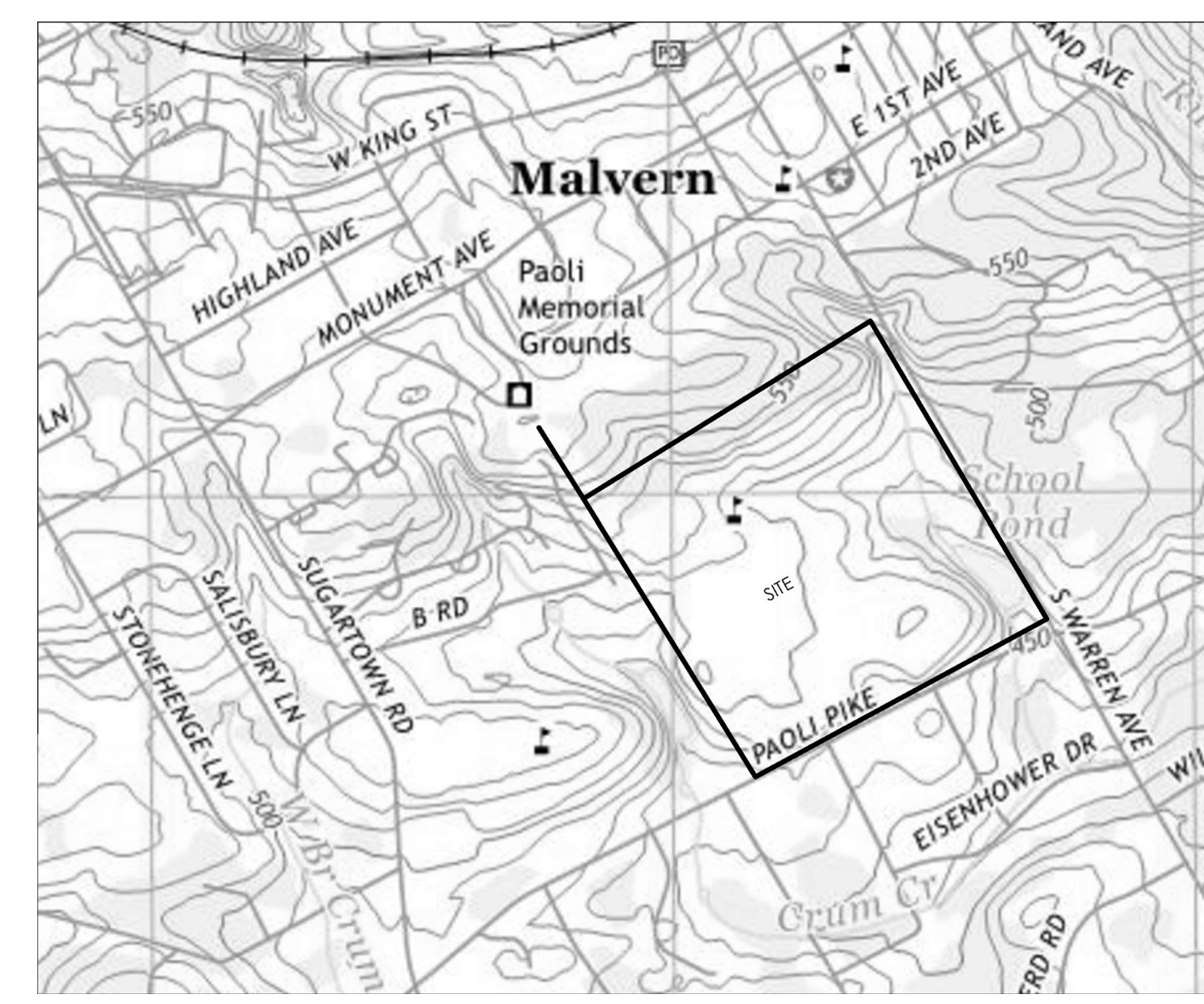
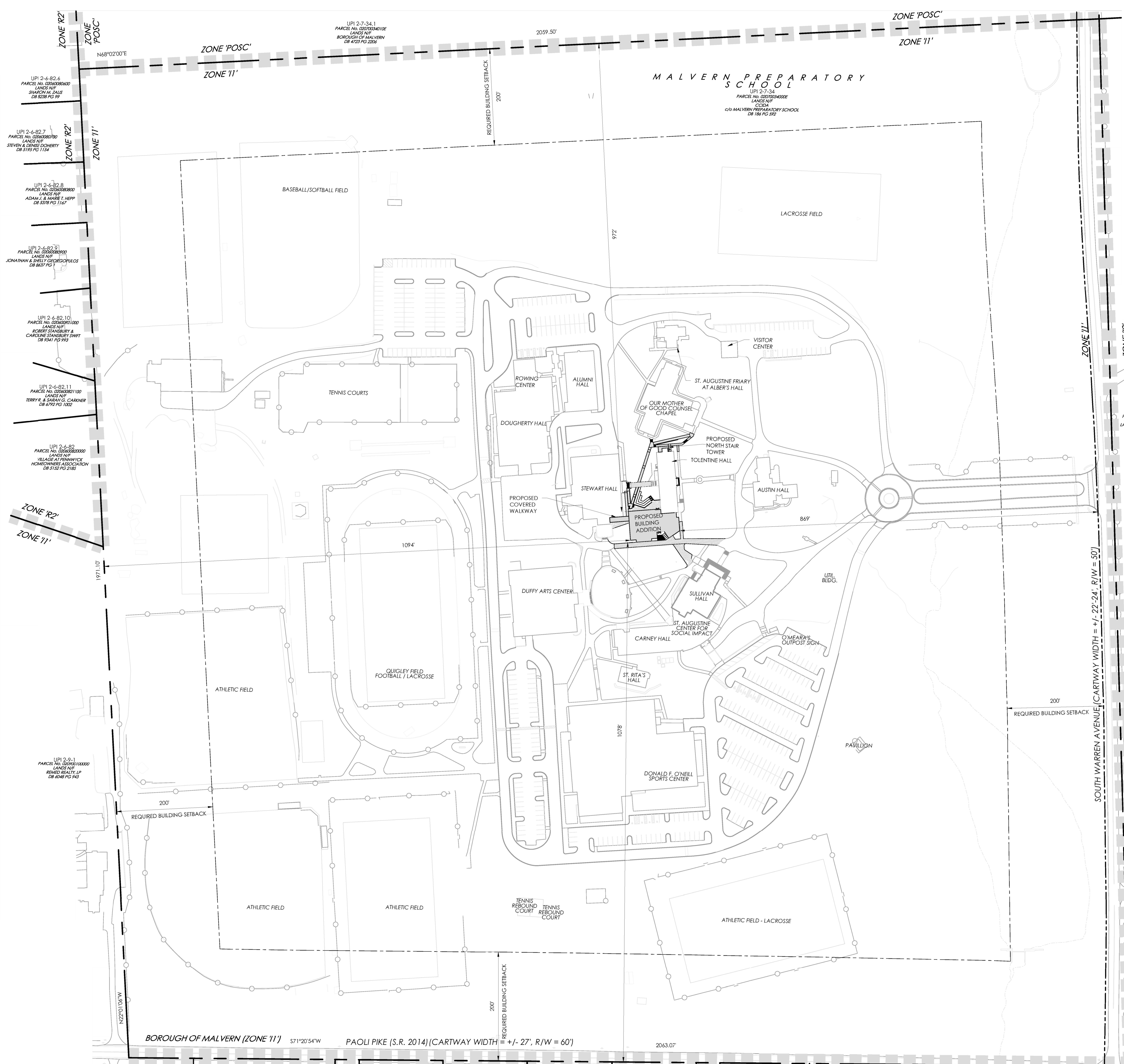
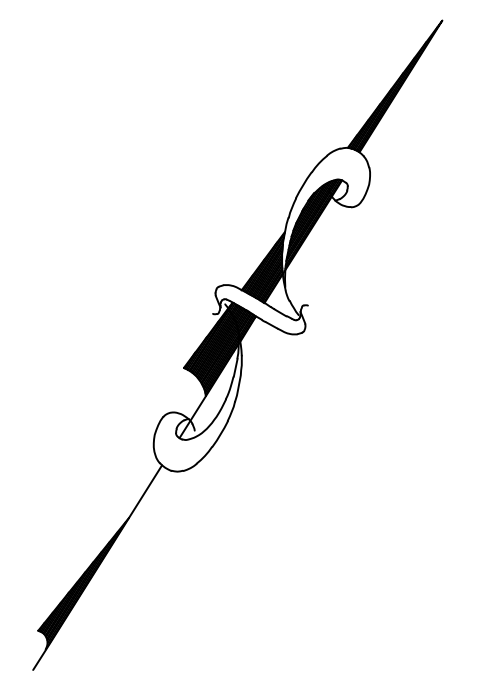
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**GENERAL PLAN TEXT NOTE:**  
 VERTICAL TEXT INDICATES PROPOSED FEATURES  
 HORIZONTAL TEXT INDICATES EXISTING FEATURES  
 ITEMS TO BE REMOVED OR REPLACED SHOWN DARKER

**GRAPHIC SCALE**  
 1" = 30'  
 0 30 60 90 120  
 ( IN FEET )  
 1 inch = 30 ft

E:\projects\2023\malvern-preparatory school\plan\2023-demolition.dwg May 01, 2023 3:30pm

Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS



UPLI 54-3-41 PARCELS NO. 0000000000 LANDS NUP PARCELS CHARNELL & KAREN SANDRA DB 0000 PG 257	UPLI 54-3-42 PARCELS NO. 0000000000 LANDS NUP PARCELS CHARLES & KAREN SANDRA DB 0000 PG 258	UPLI 54-3-43 PARCELS NO. 0000000000 LANDS NUP PARCELS DANIEL & SIOBHAN W. JACOBSON DB 0000 PG 259	UPLI 54-3-55 PARCELS NO. 0000000000 LANDS NUP PARCELS BRUCE & MESSIA A. DALES DB 0000 PG 193	UPLI 54-3-57 PARCELS NO. 0000000000 LANDS NUP PARCELS JEFFREY & JENNIFER DB 0000 PG 194	UPLI 54-3-58 PARCELS NO. 0000000000 LANDS NUP PARCELS CHRISTOPHER & JENNIFER DB 0000 PG 195	UPLI 54-3-59 PARCELS NO. 0000000000 LANDS NUP PARCELS ANDREW J. & MARIE C. SHANNETT DB 0000 PG 196	UPLI 54-3-72 PARCELS NO. 0000000000 LANDS NUP PARCELS DWAYNE & JENNIFER DB 0000 PG 286	UPLI 54-3-73 PARCELS NO. 0000000000 LANDS NUP PARCELS MARY CONNOR & JAMES DB 0000 PG 198	UPLI 54-3-74 PARCELS NO. 0000000000 LANDS NUP PARCELS ALAN & LINDA & HOOPER DB 0000 PG 287	UPLI 54-3-22 PARCELS NO. 0000000000 LANDS NUP PARCELS JAMES M. & SALLY M. WOOD DB 0000 PG 407
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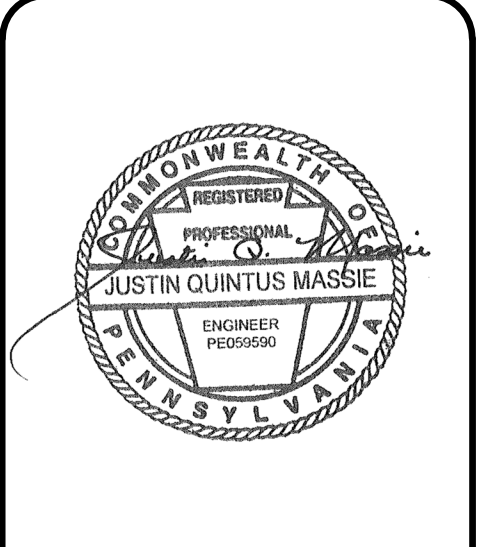
**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-688-1452 www.terraformengineering.com

MALVERN	PENNSYLVANIA
MALVERN PREPARATORY SCHOOL	PRELIMINARY / FINAL
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	OVERALL SITE PLAN

**D'HUY Engineering, Inc.**  
 CONSULTING ENGINEERS: Project Management | Facilities Engineering | Structural Design & Analysis | Forensic Engineering

**DEI**  
 ENGINEER  
 REGISTERED

One East Broad Street, Bethlehem, PA, 18018  
 (610)688-2000 • (610)688-0000 • www.dhuy.com



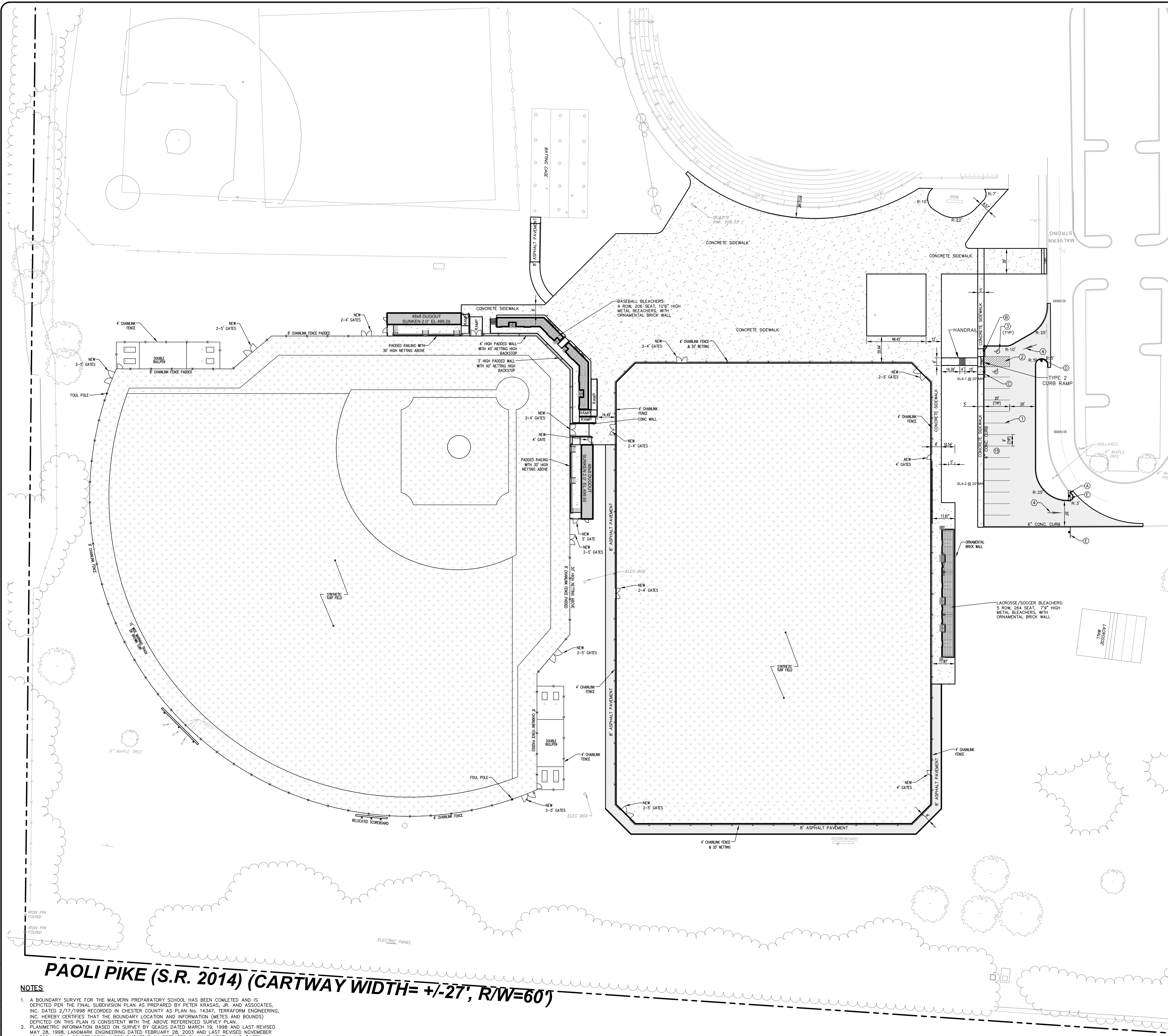
Drawn: GAS	Appd.: JQM
Date: 02/07/2023	
Scale:	
Job No. 848001	
Drawn No. 4 of 19	
No. C201	

**NOTE:**  
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 SLANTED TEXT INDICATES PROPOSED FEATURES

**GRAPHIC SCALE**  
 ( IN FEET )  
 1 inch = 100 ft.



**ZONING DATA**

ZONING DISTRICT: INSTITUTIONAL (I1)  
 EXIST/PROP USE: MIDDLE AND HIGH SCHOOL CAMPUS (6-12 GRADE)

	REQ'D	EXIST COND	PROP COND
MIN LOT AREA:	20,000 SF	99.63 AC	99.63 AC
MIN LOT WIDTH:	N/A	N/A	N/A
MIN BLDG SETBACKS:			
FRONT YARD:	200'	>200'	>200'
SIDE YARD (EACH):	200'	>200'	>200'
REAR YARD:	200'	>200'	>200'
PARKING:	20'	>20'	>20'
LOADING:	20'	>20'	>20'
INTERNAL STREETS:	20'	>20'	>20'
MAX BLDG HEIGHT:	35'/3 STORIES	35'/3 STORIES	35'/3 STORIES
MIN BLDG SEPARATION:	2X HEIGHT OF TALLEST BUILDING/ 75' MIN	<15%	<15%
MAX BLDG COVERAGE:	15%	4.16% (4.14 AC)	4.16% (4.14 AC)
MAX IMP SURF RATIO:	25%	17.92% (17.65 AC)	20.35% (20.27 AC)

**PARKING REQUIREMENTS:**

STALL SIZE: 9'x20' REQ'D; 9'x20' PROPOSED

STAFF: 1 SPACE/ EMPLOYEE  
 STUDENT - GRADE K-9: 1 SPACE PER 20 STUDENTS  
 STUDENTS - GRADE 10-12: 1 SPACE PER 10 STUDENTS

**REQUIRED PARKING:**

145 EMPLOYEE / 145 SPACES  
 274 STUDENTS (GRADE K-9) - 14 SPACES  
 379 STUDENTS (GRADE 10-12) - 38 SPACES  
 TOTAL REQUIRED = 179 SPACES

**EXISTING PARKING:** 376 SPACES  
**PROPOSED PARKING:** 391 SPACES

THIS DEVELOPMENT WILL NOT RESULT IN AN INCREASE IN THE STAFF OR STUDENT POPULATION AND THEREFORE WILL NOT REQUIRE ADDITIONAL PARKING. THE PROPOSED ADDITIONAL SPACES ARE ONLY PROVIDED FOR CONVENIENCE.

**SITE DATA**

OWNER/DEVELOPER: CODA C/O MALVERN PREPARATORY SCHOOL  
 MALVERN PREPARATORY SCHOOL  
 418 SOUTH WARREN AVENUE  
 MALVERN, PA 19355-2707  
 PHN: 484-595-1100

SITE ADDRESS: 418 S WARREN AVE  
 MALVERN, PA 19355

TAX MAP: 02-07-0034.000E  
 SITE AREA: 99.63 AC

**PAVEMENT MARKINGS**

SYM	DESCRIPTION
(1)	4" SINGLE WHITE LINE *
(2)	HC ACCESS AISLE (4" SINGLE BLUE OUTLINE & 4" BLUE LINES @ 36" C-C @ 45') *
(3)	ACCESSIBILITY SYMBOLS (WHITE SYMBOL ON 48"x48" BLUE BACKGROUND) **
(4)	STRAIGHT ARROW (6" LONG, WHITE) **

**NOTES:**

\* PAVEMENT MARKINGS TO BE LATEX, WATERBOURNE EMULSION, LEAD AND CHROMATE FREE, READY MIXED, COMPLYING WITH S 11-102, TYPE II WITH DRYING TIME OF LESS THAN 45 MINUTES, AS DESCRIBED IN PENNDOT PUB. 408, SECTION 964.

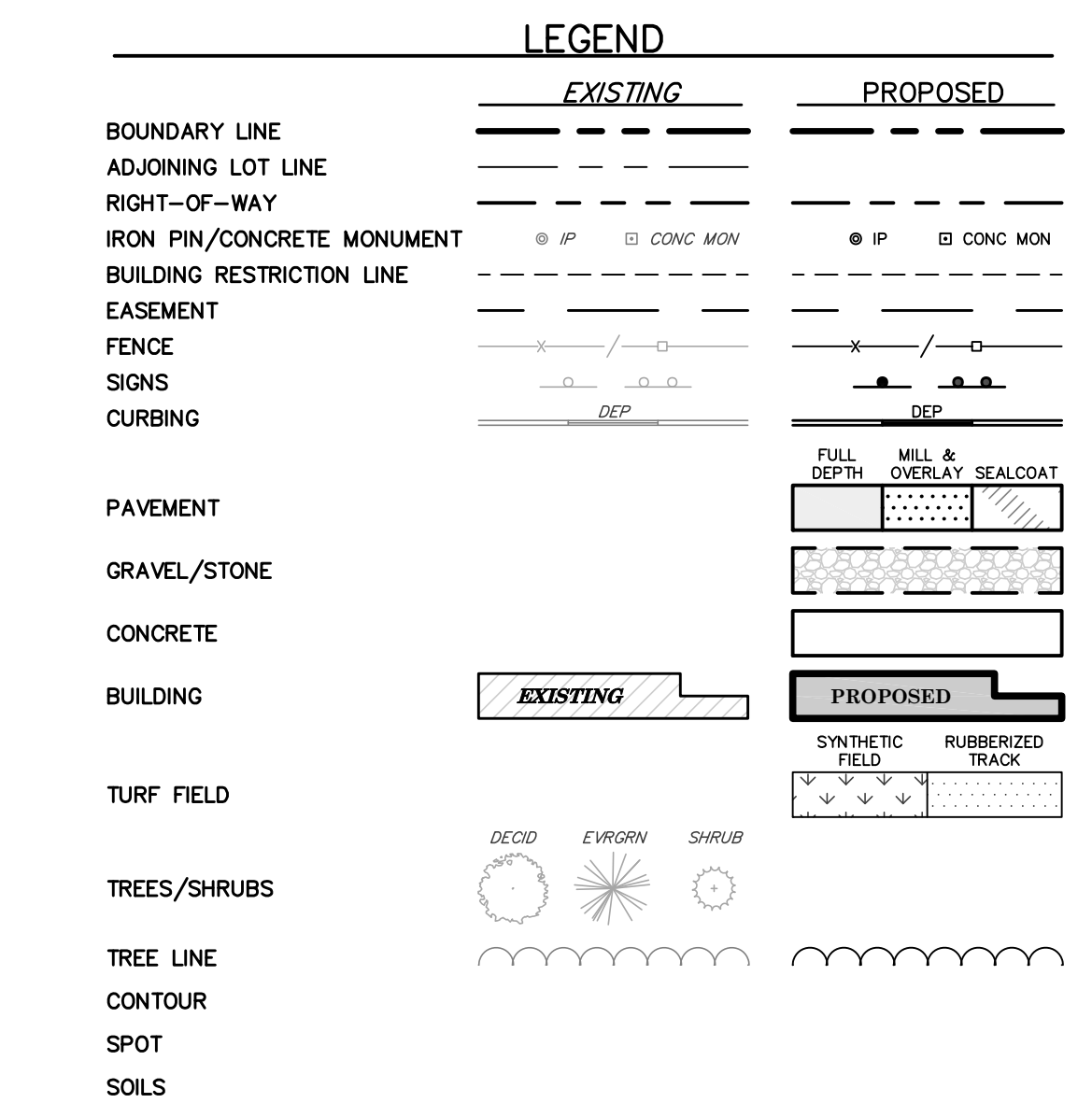
\*\* HOT THERMOPLASTIC PAVEMENT MARKINGS, AS DESCRIBED IN PENNDOT PUB. 408, SECTION 960, MATERIALS AS PER BULLETIN 15.

**SIGNAGE SCHEDULE**

SYM	MUTCD / PENNDOT SERIES	SIZE	TEXT
(1)	R1-1	30"x30"	STOP
(2)	R7-8	12"x18"	RESERVED PARKING
(3)	R7-8 W/R7-BP	12"x18"/12"x6"	RESERVED VAN ACCESSIBLE PARKING
(4)	R6-1L	36"x12"	ONE WAY
(5)	R5-1	30"x30"	DO NOT ENTER

**NOTES:**

1. ALL SIGNS ARE TO BE FLAT SHEET ALUMINUM.  
 2. REFERENCE TO PENNDOT SECTION, LATEST EDITION.  
 3. ALL SIGNS TO BE MOUNTED ON A PENNDOT TYPE B BREAKAWAY POST UNLESS OTHERWISE NOTED.  
 4. SEE SHEET XXX FOR SIGNS XX & XX.



- NOTES**
- A BOUNDARY SURVEY FOR THE MALVERN PREPARATORY SCHOOL HAS BEEN COMPLETED AND IS DEPICTED PER THE FINAL SUBDIVISION PLAN AS PREPARED BY PETER KRASAS, JR. AND ASSOCIATES, INC. DATED 2/17/1998 RECORDED IN CHESTER COUNTY AS PLAN NO. 14347, TERRAFORM ENGINEERING, INC. HEREBY CERTIFIES THAT THE BOUNDARY LOCATION AND INFORMATION (METES AND BOUNDS) DEPICTED ON THIS PLAN IS CONSISTENT WITH THE ABOVE REFERENCED SURVEY PLAN.
  - PLANNIMETRIC INFORMATION BASED ON SURVEY BY GEORGE DATED MARCH 15, 1998 AND LAST REVISED MAY 28, 1998, LANDMARK ENGINEERING DATED FEBRUARY 28, 2003 AND LAST REVISED NOVEMBER 12, 2004 AND A CONSTRUCTION IMPROVEMENTS PLAN PREPARED BY HAYNE NEWELL, INC. DATED JANUARY 1, 1999 AND LAST REVISED JUNE 27, 2006. PORTIONS OF THE SURVEY ARE BASED ON AERIAL PHOTOGRAPHY. EXACT DIMENSIONS MUST BE FIELD VERIFIED BY CONTRACTOR.
  - TOPOGRAPHIC SURVEY CONDUCTED FOR THE ATHLETIC FACILITY IMPROVEMENTS COMPLETED BY OTT CONSULTING, INC DURING JUNE 2022.
  - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED.
  - ANY DIMENSIONS SCALED FROM THIS PLAN MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER OF ANY CONFLICTS OR DEVIATIONS FROM THE DESIGN PLANS.
  - THERE WILL BE NO INCREASE IN THE STUDENT OR EMPLOYEE POPULATION AT THE SCHOOL AS A RESULT OF THIS PROJECT.
  - THE PROPERTY WILL CONTINUE ITS EXISTING USE AS A PREPARATORY SCHOOL AFTER THE PROPOSED IMPROVEMENTS.

**NOTE:**

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Pennsylvania One Call System, Inc. 1-800-242-1776

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 UNSHADDED TEXT INDICATES EXISTING FEATURES

**GRAPHIC SCALE**

1" = 30 FT

**Revisions**

No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**

ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-685-4152 www.terraformengineering.com

**PRELIMINARY/FINAL**

MALVERN PREPARATORY SCHOOL

PENNSYLVANIA

**PRELIMINARY/FINAL**

ATHLETIC FACILITY IMPROVEMENTS

**SITE PLAN**

**D'HUY Engineering, Inc.**

Project Management | Facilities Engineering  
 Structural Design & Analysis | Forensic Engineering

**DEI**

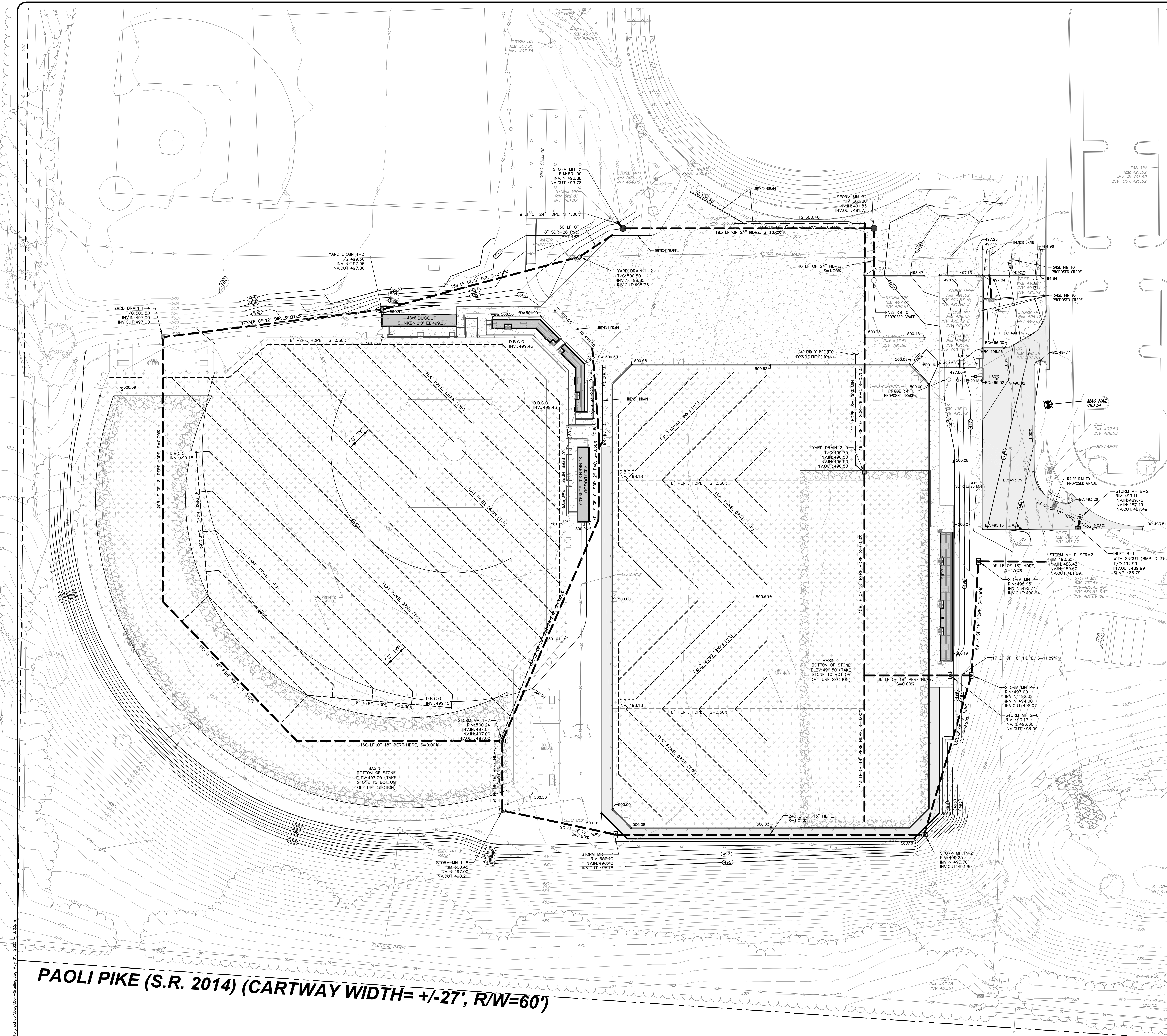
One East Broad Street, Bethlehem, PA, 18018  
 (610)662-3000 • (610)662-0100 ext. 6 • www.dhuy.com

**PROFESSIONAL SEAL**

JUSTIN QUINTUS MASSIE  
 ENGINEER  
 PENNSYLVANIA

Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: 1" = 30'  
 Job No. 848001  
 Drawing No. 5 of 19  
**C202**





**PAOLI PIKE (S.R. 2014) (CARTWAY WIDTH= +/-27', R/W=60')**

**PA ONE-CALL SYSTEM FACILITY OWNER LIST FOR CHESTER COUNTY/MALVERN BOROUGH**

AQUA PENNSYLVANIA INC. 1024 CORNERSTONE ROAD, DOWNTOWN, PA 19330 610-527-8000	762 WEST LANCASTER AVENUE, BIRN WAVE, PA 19010 610-842-2001	COMCAST CABLE CHESTER COUNTY 1500 CORPORATE DRIVE, CANONSBURG, PA 15317 724-416-2799	1224 MARKET STREET FOURTH FLOOR, PHILADELPHIA, PA 19107 215-580-7880	CROWM CASTLE MALVERN BOROUGH 450 SOUTH HENDERSON ROAD, KING OF PRUSSIA, PA 19406 610-681-1819	VERIZON PENNSYLVANIA LLC 7000 WESTON PARKWAY, CARY, NC 27513 919-414-2782
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One Call System, Inc. 1-800-242-1776

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VERTICAL TEXT INDICATES PROPOSED FEATURES  
SLANTED TEXT INDICATES EXISTING FEATURES



**GRADING & UTILITY NOTES**

1. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS. IF THERE ARE CONFLICTS WITH THIS PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE COMMENCING CONSTRUCTION. CONTRACTOR'S INVESTIGATION SHALL INCLUDE, BUT NOT BE LIMITED TO, LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND CLEARANCES AT CROSSINGS. TEST HOLES SHALL BE NECESSARY. COMMENCEMENT OF CONSTRUCTION SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR OF THIS PLAN, CONDITION, AND CONSEQUENCES THEREOF. RESULTS OF FINDINGS MAY NECESSITATE ADJUSTMENTS TO THIS PLAN.
2. THESE PLANS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
3. ALL WORK SHALL BE DONE WITHIN THE PROPERTY BOUNDARY OF THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS. IF IT IS NECESSARY TO WORK BEYOND THESE AREAS, THE CONTRACTOR SHALL ACQUIRE ADEQUATE APPROVAL FROM THE OWNER OF THE PROPERTY ON WHICH IT IS NECESSARY TO WORK.
4. PRIOR TO FILL OPERATIONS, ALL AREAS WITHIN BUILDING AND PAVEMENT INFLUENCE THAT ARE TO RECEIVE FILL SHALL BE PROTECTED, AND ALL UNSTABLE MATERIAL SHALL BE REMOVED OR STABILIZED IN PLACE, AND THEN COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY TO A MINIMUM DEPTH OF TWELVE (12) INCHES, AS DETERMINED BY ASTM D-1557.
5. ALL AREAS MUST DRAIN TO THE DESIGNED DRAINAGE POINTS. NO PUDDLES SHALL BE PERMITTED.
6. REFER TO PROFILE SHEETS FOR ADDITIONAL UTILITY INFORMATION.
7. ALL STORM AND SANITARY PIPE LENGTHS ARE MEASURED TO THE CENTER OF THE STRUCTURES.
8. THE CONTRACTOR(S) SHALL ADJUST ANY/ALL EXISTING UTILITY STRUCTURE FRAMES, COVERS, MANHOLES, VALVE BOXES, CLEANOUTS, ETC. WITHIN THE LIMITS/AREAS OF DISTURBANCE TO BE FLUSH WITH THE FINAL GRADE SURFACE. ANY/ALL PROPOSED UTILITY STRUCTURE FRAMES, COVERS, MANHOLES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE SET FLUSH WITH THE FINAL GRADE SURFACE.
9. EXISTING STRUCTURES SHALL BE MODIFIED OR REPLACED AS NECESSARY TO RECEIVE NEW PIPE CONNECTIONS.
10. HDPE STORM PIPES SHALL BE ADS N-12, WATER-TIGHT JOINT PIPE OR EQUIVALENT.
11. PROPOSED CONSTRUCTION AND UTILITY CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST CONSTRUCTION STANDARDS OF THE UTILITY PROVIDER.
12. REFER TO ELECTRICAL PLANS FOR SITE ELECTRICAL SYSTEM LAYOUT AND ALL RELATED DETAILS.

**LEGEND**

	EXISTING	PROPOSED
BOUNDARY LINE	---	---
ADJOINING LOT LINE	---	---
RIGHT-OF-WAY	---	---
IRON PIN/CONCRETE MONUMENT	IP	IP
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
FENCE	---	---
SIGNS	---	---
CURBING	---	---
PAVEMENT	---	---
GRAVEL/STONE	---	---
CONCRETE	---	---
BUILDING	---	---
TURF FIELD	---	---
STORM PIPE/INLET/MANHOLE	---	---
SANITARY PIPE/MANHOLE/CLEAN OUT	---	---
WATER LINE/HYDRANT/VALVE	---	---
GAS LINE & VALVE	---	---
OVERHEAD ELECTRIC	---	---
UNDERGROUND ELECTRIC	---	---
UTILITY POLE	---	---
LIGHT POLE	---	---
TREES/SHRUBS	---	---
TREE LINE	---	---
CONTOUR	---	---
SPOT	---	---
SOILS	---	---

Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-488-1452 www.terraformengineering.com

PRELIMINARY/ FINAL	PENNSYLVANIA
MALVERN PREPARATORY SCHOOL	
MALVERN	
PRELIMINARY/ FINAL	
ATHLETIC FACILITY IMPROVEMENTS	
GRADING AND UTILITY PLAN	

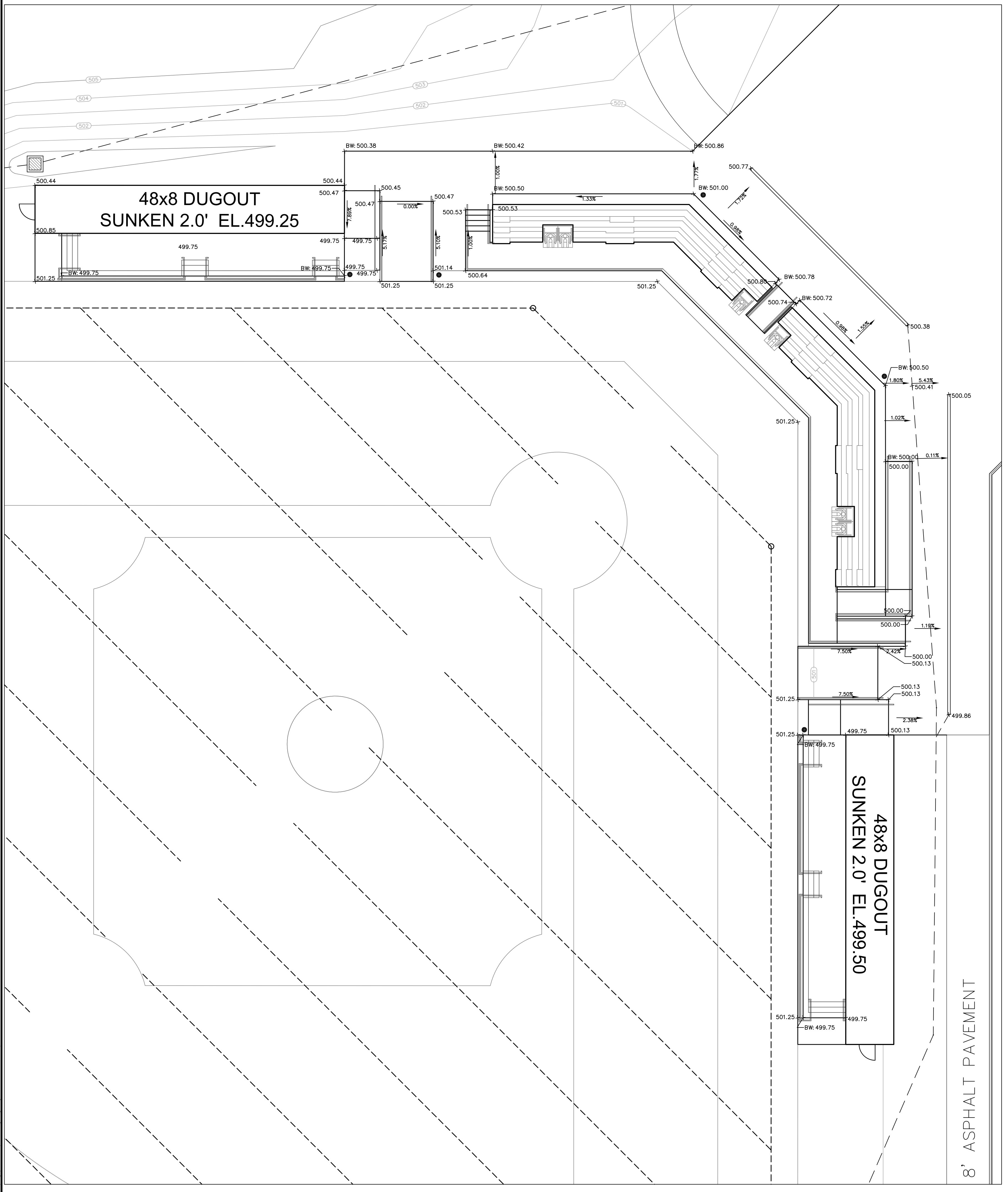
**D'UHY Engineering, Inc.**  
 CONSULTING ENGINEERS: Project Management | Facilities Engineering | Structural Design & Analysis | Forensic Engineering

**DEI**

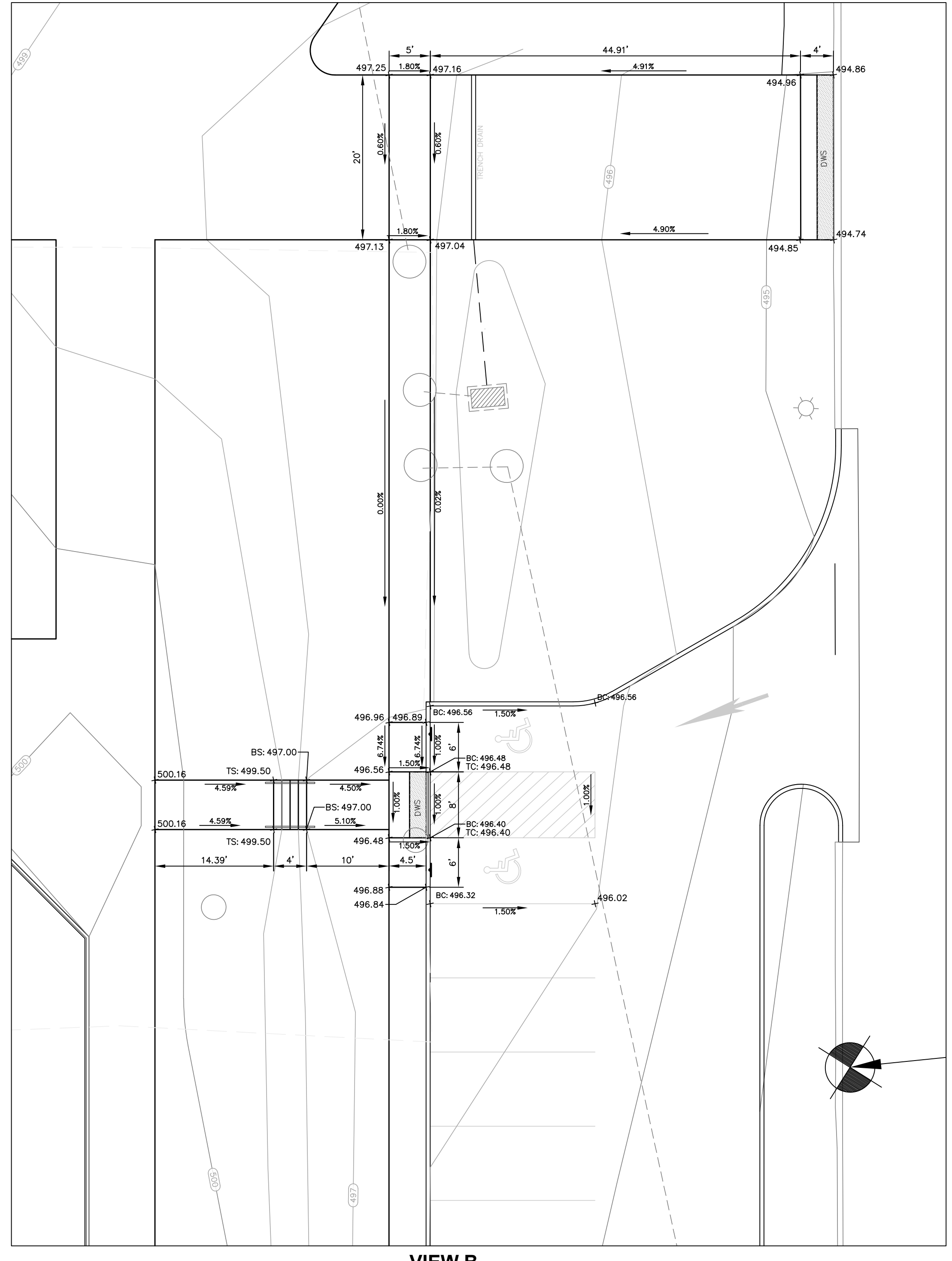
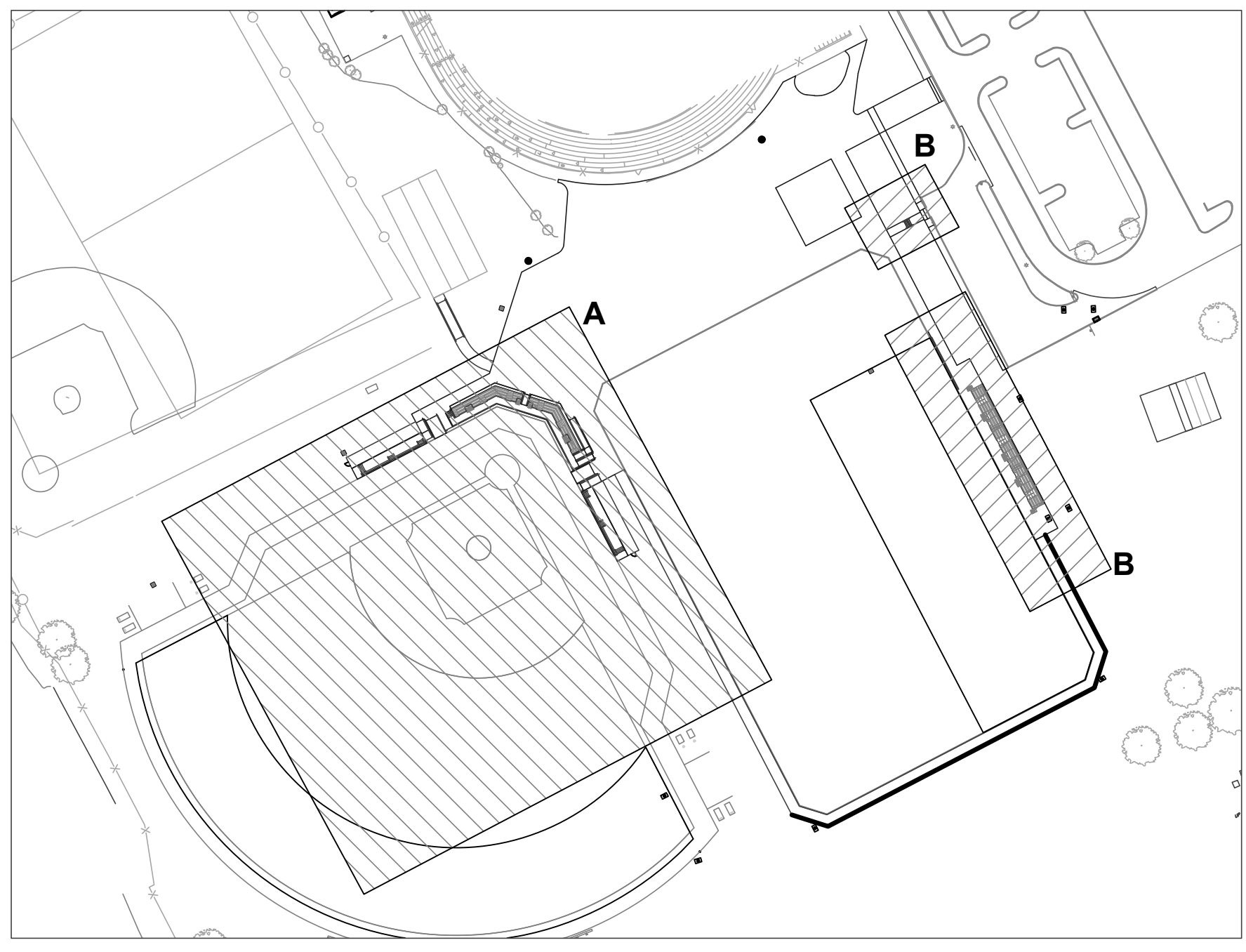
One East Broad Street, Bethlehem, PA, 18018  
 (610)662-3000 • (610)662-0100 ext. 2 • www.duhy.com

Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: 1" = 30'

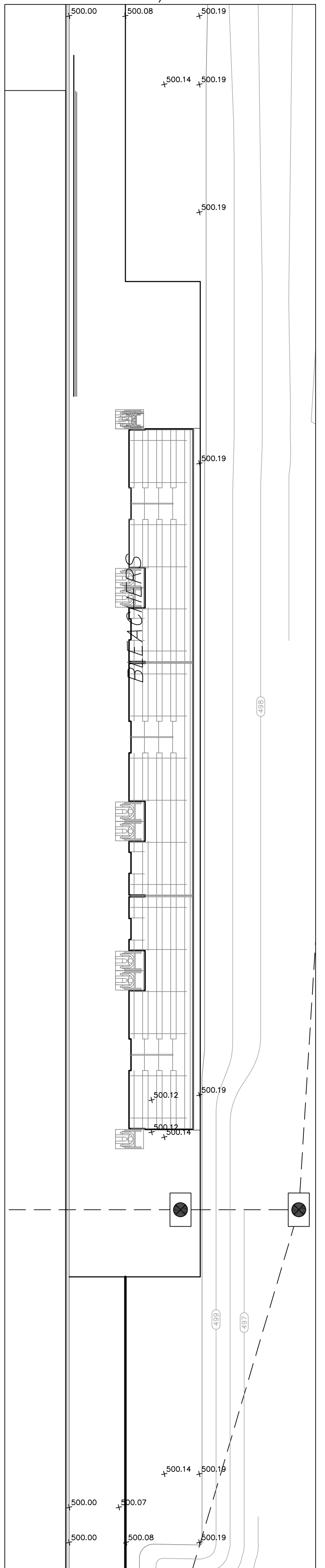
Job No. 848001  
 Drawing No. 6 of 19  
**C301**



VIEW A



VIEW B



VIEW C

Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-662-4652 www.terraformengineering.com

PRELIMINARY/FINAL  
 MALVERN PREPARATORY SCHOOL  
 MALVERN, PENNSYLVANIA  
 PRELIMINARY/FINAL  
 ATHLETIC FACILITY IMPROVEMENTS  
 GRADING AND UTILITY PLAN-DETAIL GRADING

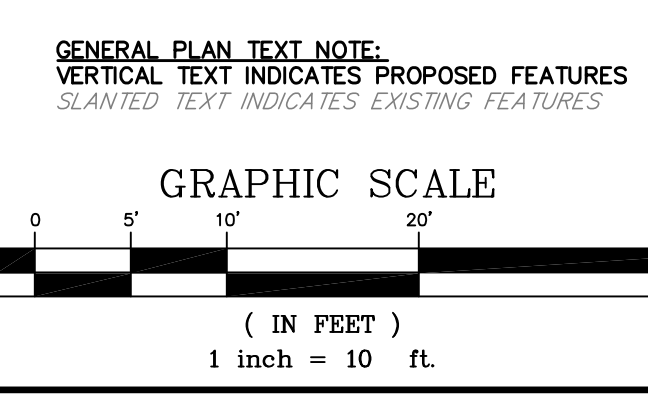
**D'HUY Engineering, Inc.**  
 CONSULTING ENGINEERS  
 Project Management | Facilities Engineering  
 Structural Design & Analysis | Forensic Engineering  
**DEI**  
 One East Broad Street, Bethlehem, PA, 18018  
 (610) 662-5000 • (610) 662-6787 • www.dhuy.com

PROFESSIONAL SEAL  
 JUSTIN QUINTUS MASSIE  
 ENGINEER  
 PENNSYLVANIA

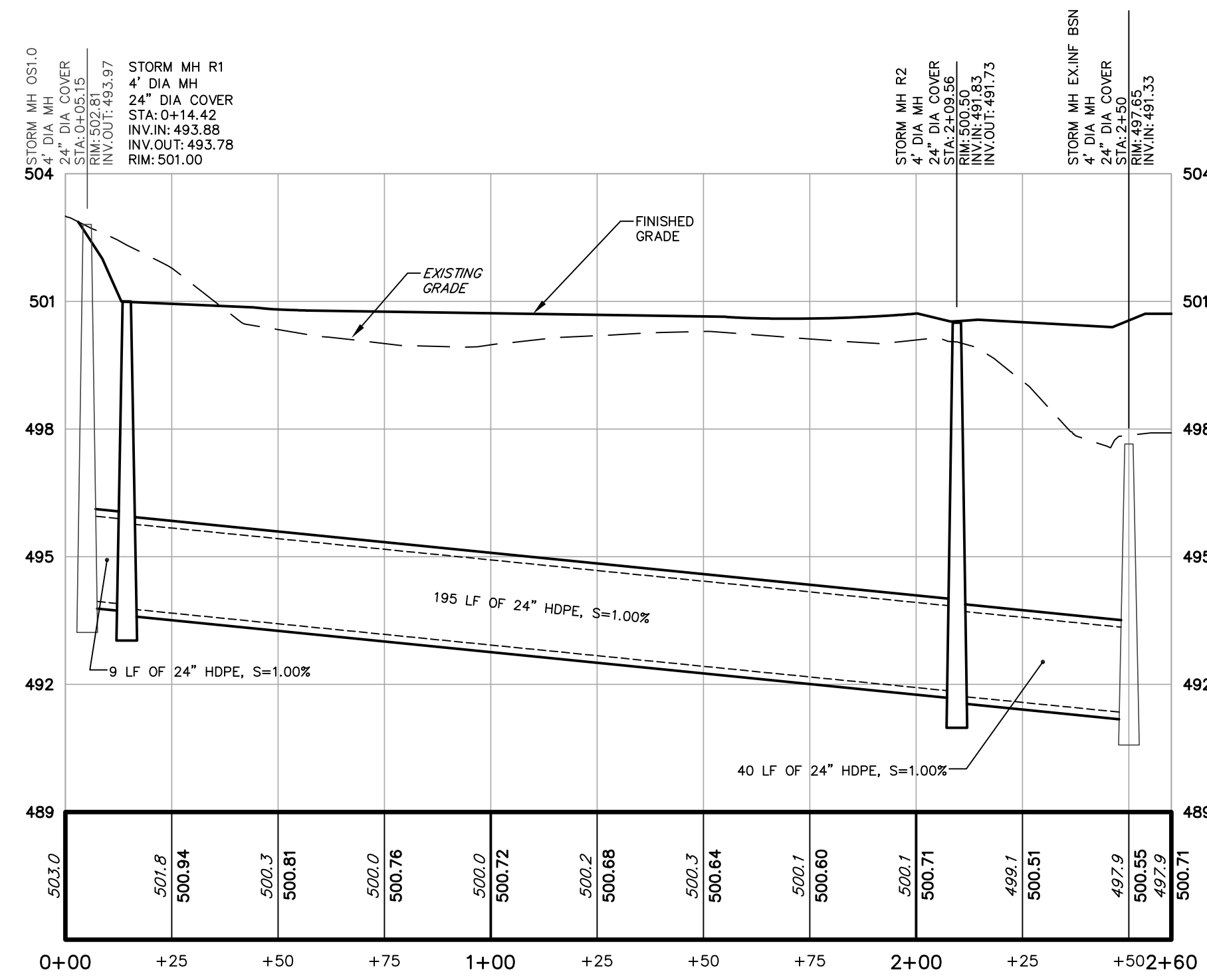
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 Scale: 1" = 10'  
 Job No. 848001  
 Drawing No. C302 7 of 19

**NOTE:**  
 PURSUANT TO THE REQUIREMENTS OF ACT 287 OF 1974 AND AS LAST AMENDED BY ACT 181 OF 2008 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE, IN ACCORDANCE WITH ACT 181. (PA ONE CALL SYSTEM, INC. 1-800-242-1776).  
 THE SITE SERIAL NUMBERS ARE 20221443120, 2022160157, AND 2022144349.

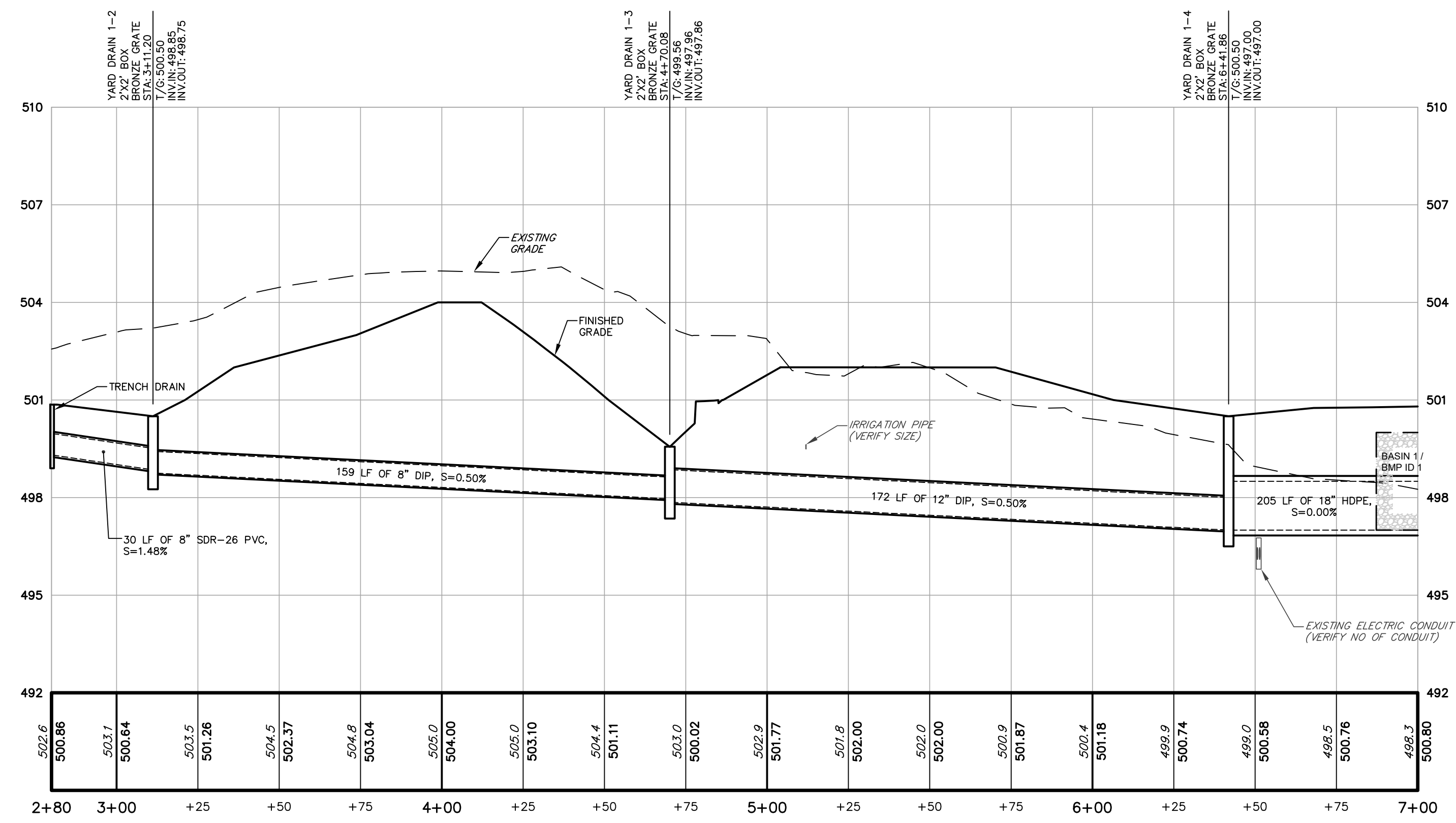
CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL  
 Pennsylvania One Call System, Inc.  
 1-800-242-1776



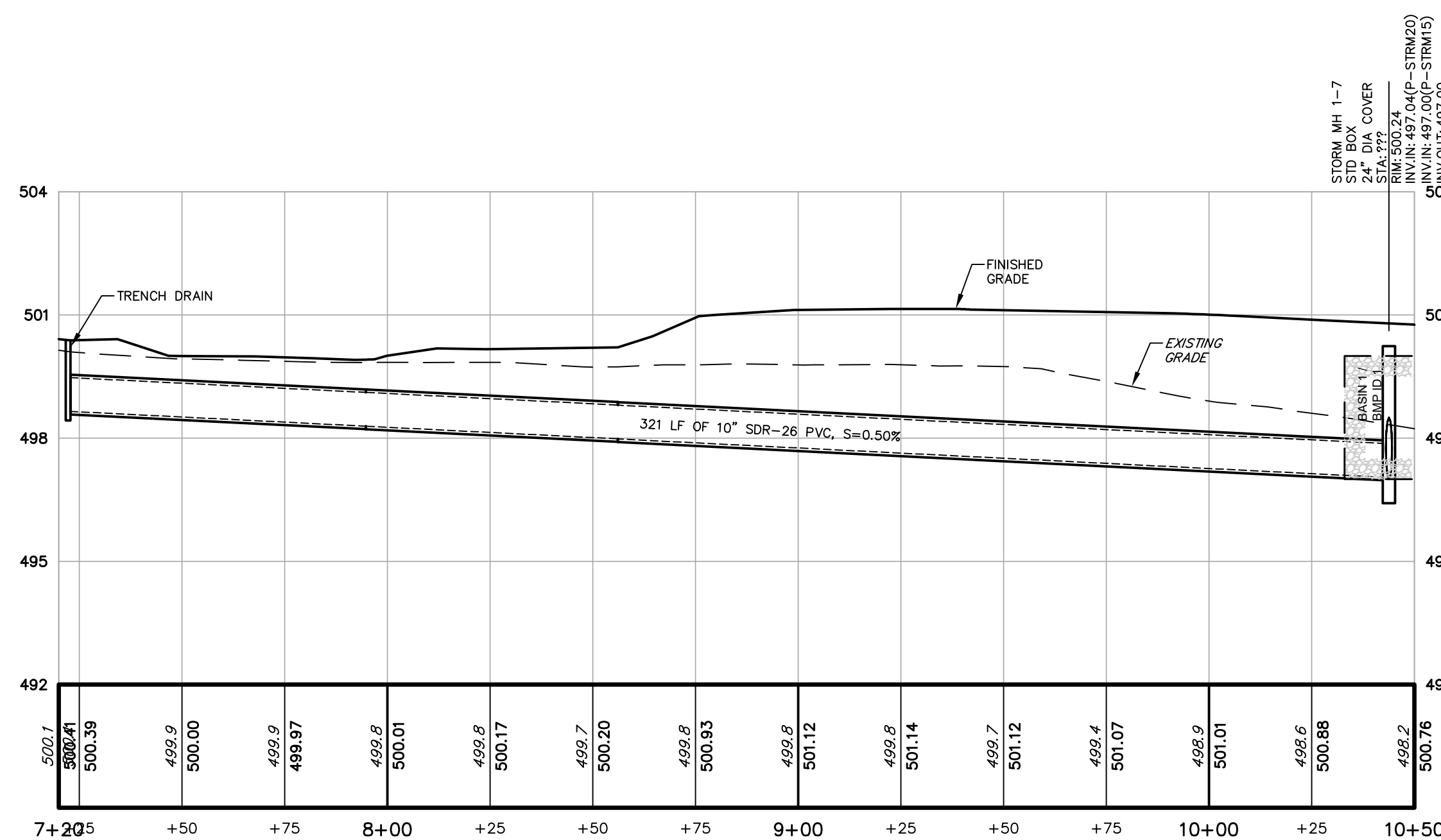
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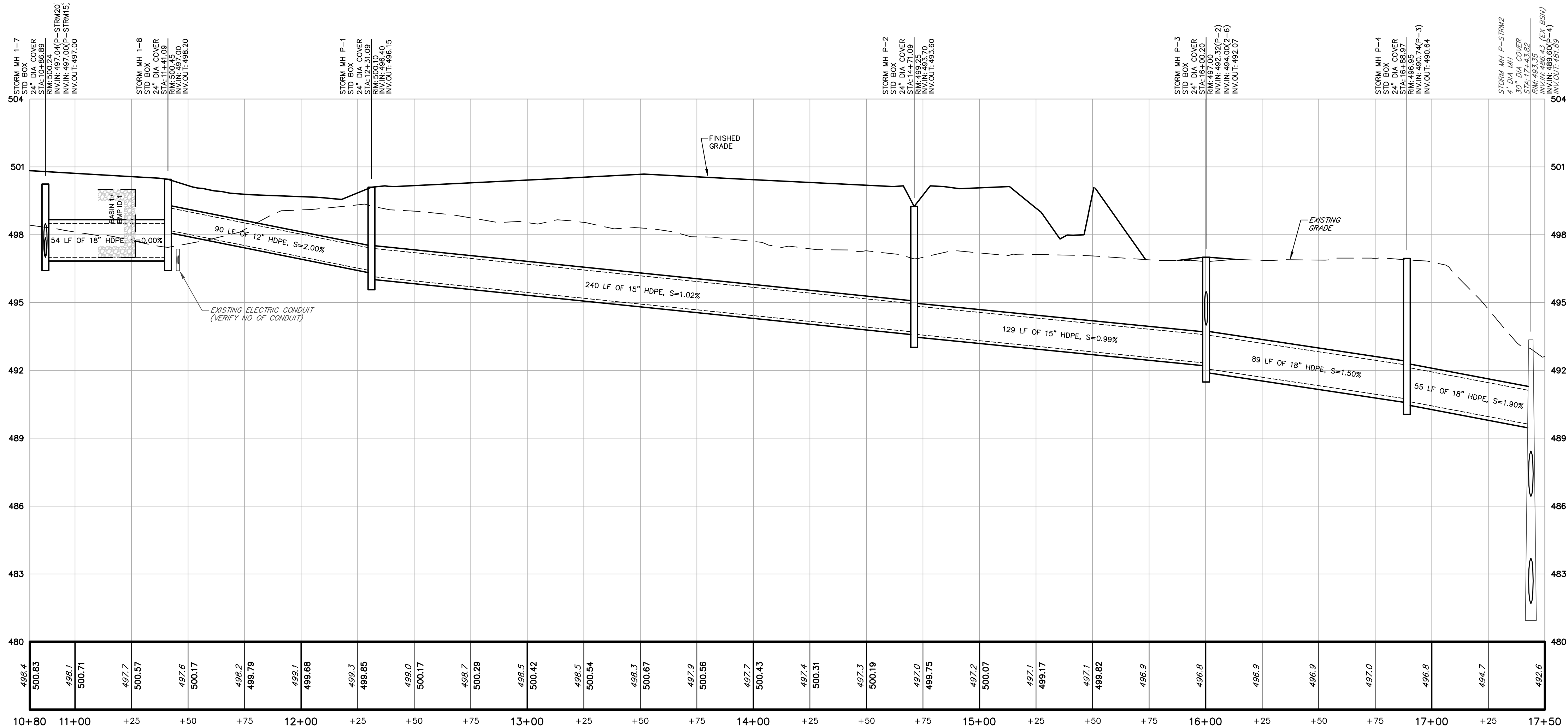
STORM PROFILE  
(MH OS1.0\_EX.INF BSN)  
(STA: 0+00 - 2+60)



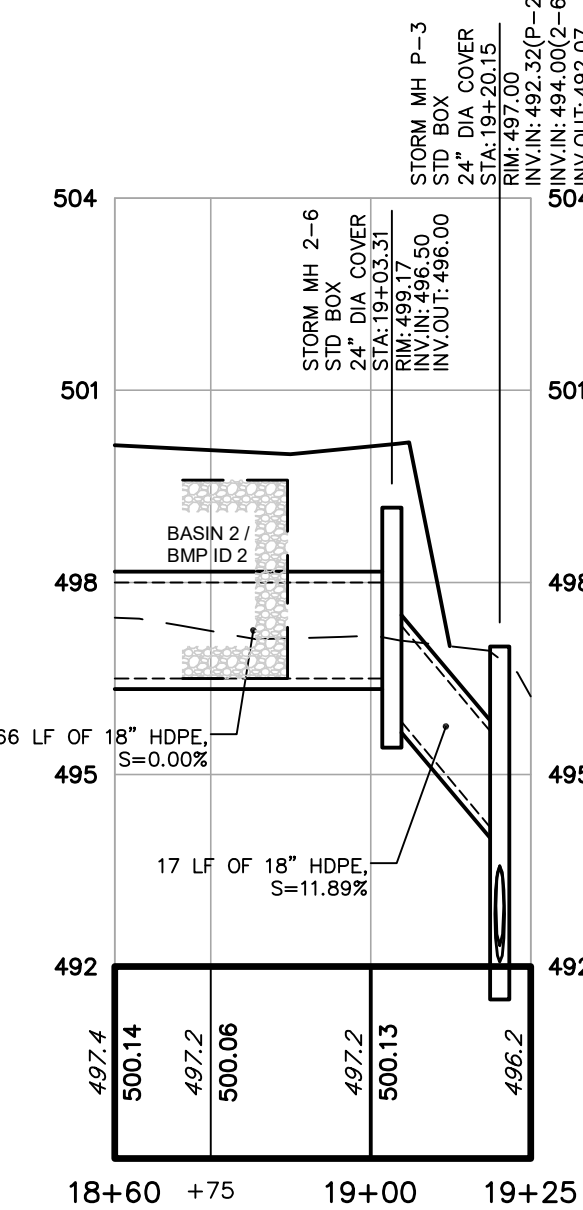
STORM PROFILE  
(TRENCH GRATE BASIN 1)  
(STA: 2+80 - 7+00)



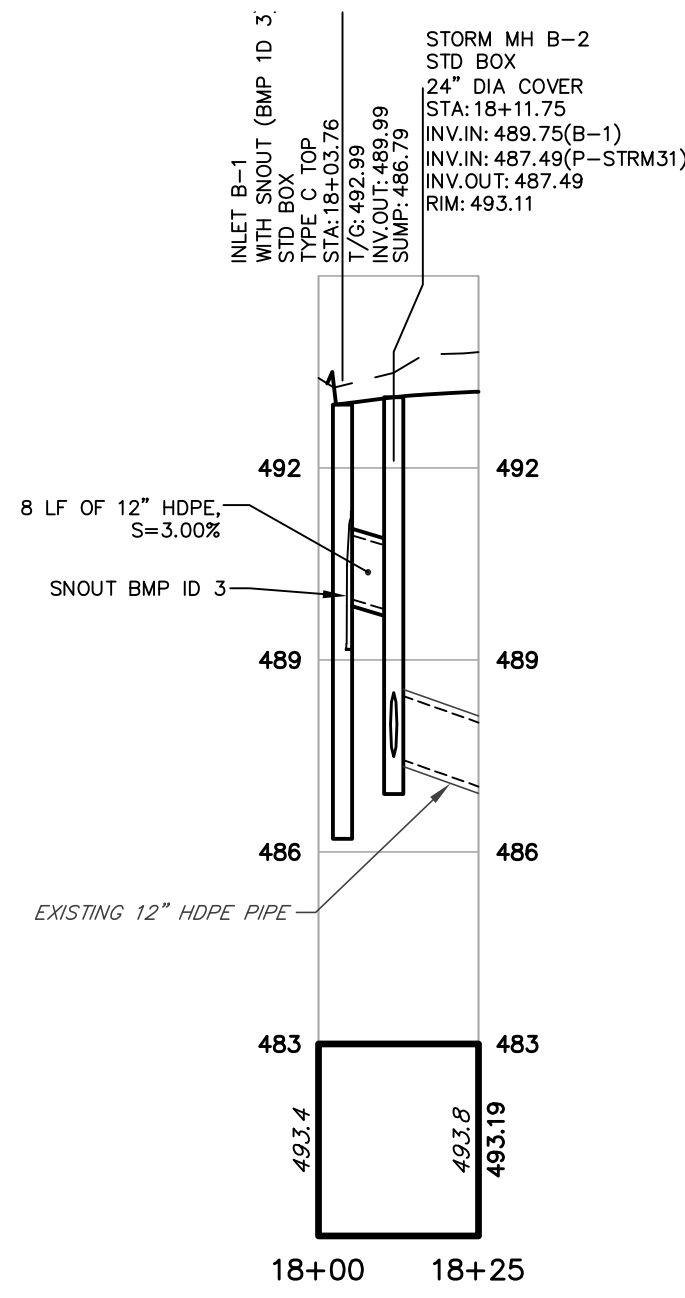
STORM PROFILE  
(TRENCH GRATE\_MH 1-7)  
(STA: 7+20 - 10+50)



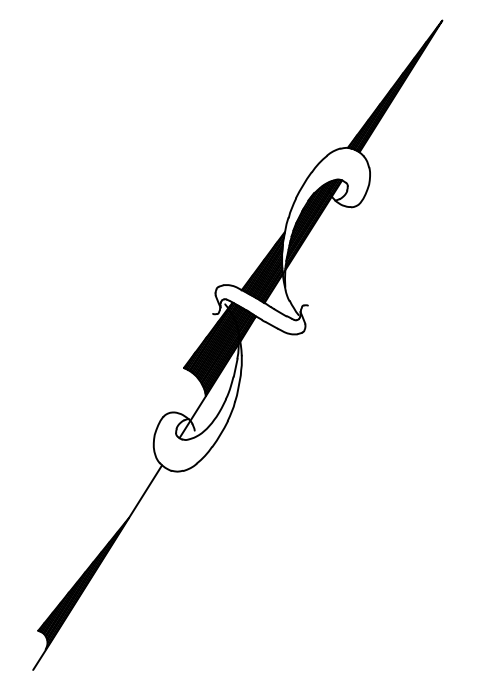
STORM PROFILE  
(MH 1-7\_MH P-STRM2)  
(STA: 10+80 - 17+50)



STORM PROFILE  
(BASIN\_MH P-3)  
(STA: 18+60 - 19+25)



STORM PROFILE  
(INLET B-1\_EX PIPE)  
(STA: 18+00 - 18+25)



Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-484-4452 www.terraformengineering.com

MALVERN	MALVERN PREPARATORY SCHOOL	PENNSYLVANIA
		PRELIMINARY / FINAL
ATHLETIC FACILITY IMPROVEMENTS		
PROFILE - STORM		

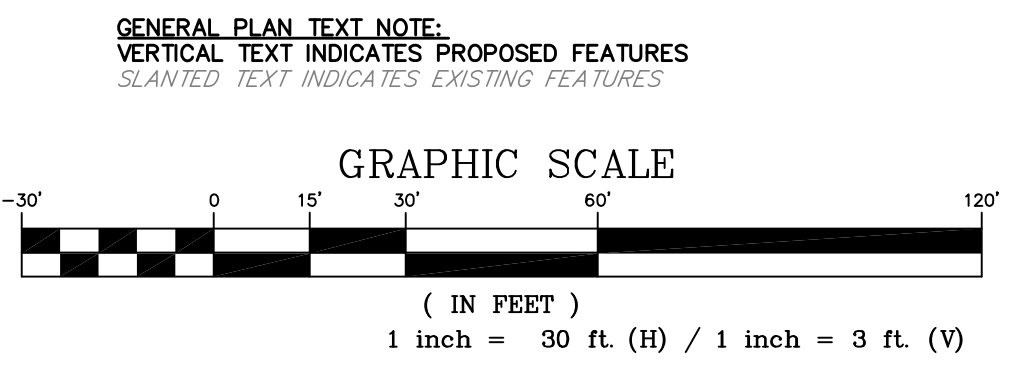
**D'HUY Engineering, Inc.**  
 CONSULTING ENGINEERS: Structural Design & Analysis | Facilities Engineering | Project Management | Utilities Engineering | Forensic Engineering  
**DEI**  
 One East Broad Street, Bethlehem, PA 18018  
 (610)663-3000 • (610)663-0100 • www.dhuy.com

Professional Engineer Seal for Justin Quintus Massie, State of Pennsylvania.  
 Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: 1" = 30'  
 Job No. 848001  
 Drawing No. 8 of 19  
**C401**

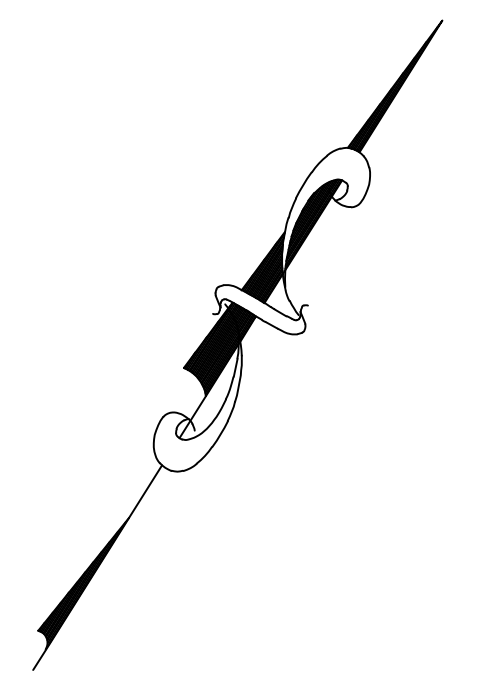
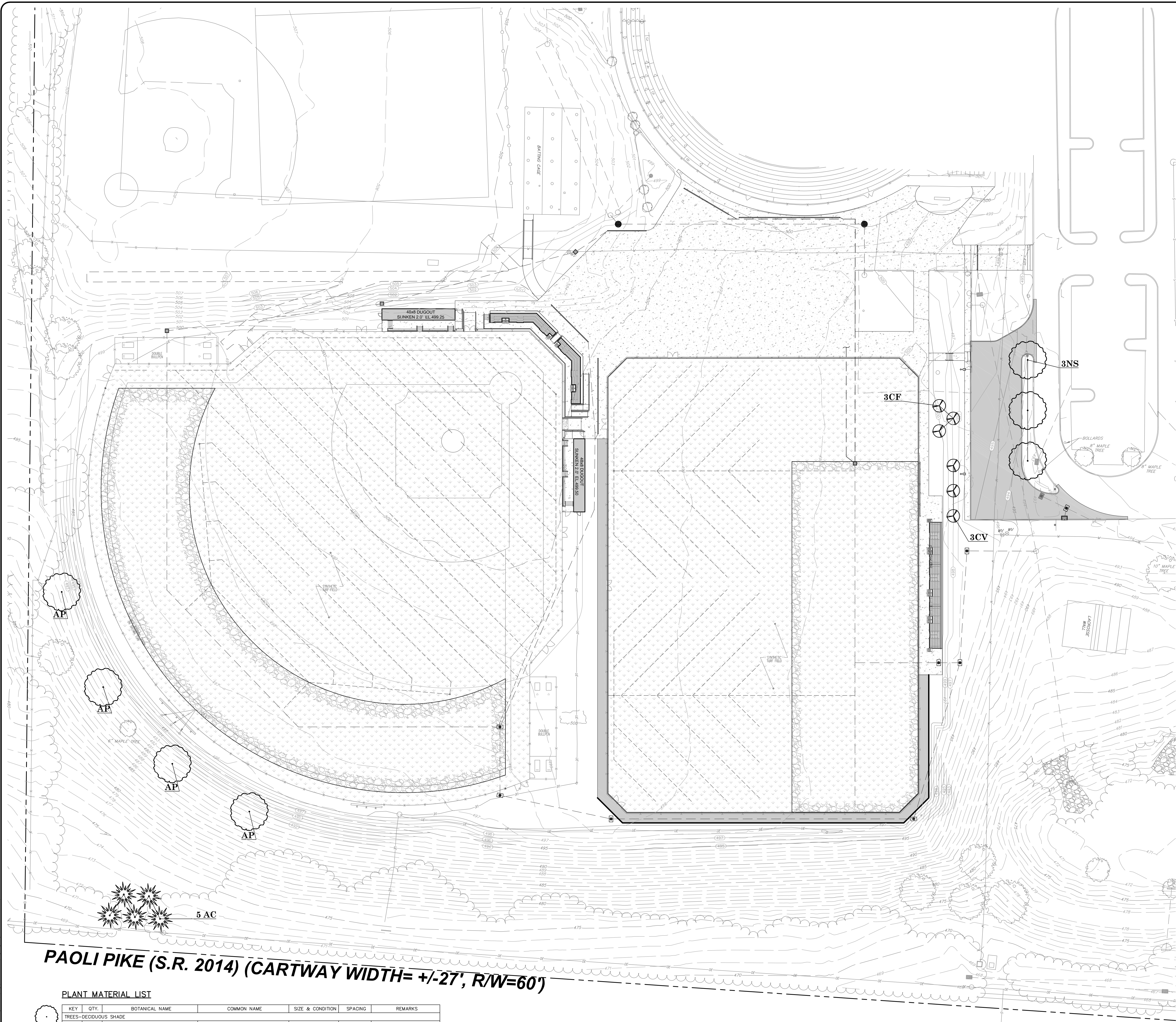
EXISTING UTILITIES AS SHOWN ARE AT APPROXIMATE LOCATIONS AND ELEVATIONS. THE CONTRACTOR(S) IS(ARE) TO VERIFY THEIR LOCATIONS AND NOTIFY THE ENGINEER OF ANY POTENTIAL DESIGN CONFLICTS PRIOR TO THE CONSTRUCTION OF PROPOSED UTILITIES.

**NOTE:**  
 PURSUANT TO THE REQUIREMENTS OF ACT 287 OF 1974 AND AS LAST AMENDED BY ACT 181 OF 2008 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 181. (PA ONE CALL SYSTEM, INC. 1-800-242-1776.)  
 THE SITE SERIAL NUMBERS ARE 20221443120, 2022160157, AND 2022144349.

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 Pennsylvania One Call System, Inc.  
 1-800-242-1776



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Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-485-1452 www.terraformengineering.com

MALVERN	PENNSYLVANIA
MALVERN PREPARATORY SCHOOL	
PRELIMINARY / FINAL	PRELIMINARY / FINAL
ATHLETIC FACILITY IMPROVEMENTS	
SITE LANDSCAPING PLAN	

- LANDSCAPING NOTES**
- ALL PLANTINGS WILL BE OF NURSERY GROWN STOCK, HEALTHY, WELL BRANCHED AND FREE FROM SCARS, INJURIOUS DISEASES AND INSECTS, AND OF A SPECIES GROWN UNDER THE SAME CLIMATIC CONDITIONS AS THE AREA OF THE PROPOSED USE.
  - ALL PLANT MATERIAL WILL MEET THE STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (2004) OR MOST RECENT EDITION, AND ANY HEIGHTS, SPREADS AND/OR CALIPER SIZES FOR TREES AND SHRUBS INDICATED IN THIS SECTION.
  - ALL PLANT MATERIAL WILL BE GUARANTEED FOR 18 MONTHS FROM THE DAY OF FINAL APPROVAL OF THE LANDSCAPE INSTALLATION.
  - ALL AREAS SPECIFIED OR PROPOSED TO BE COVERED IN GRASS/GRASS OR GRASS/GROUND COVER COMBINATIONS, WILL BE PREPARED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT PUBLICATION 408 SPECIFICATIONS, AS AMENDED.
  - PROPOSED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISH GRADING OF THE SITE HAS BEEN COMPLETED.
  - PROPOSED TREES SHALL NOT BE PLANTED ATOP ANY PROPOSED OR EXISTING UTILITY.
  - PROPOSED PLANT MATERIAL SHALL NOT BE PLANTED WITHIN ANY MUNICIPAL EASEMENT.
  - REFER TO THE SEEDING SCHEDULE ON SHEET 0602 FOR SEEDING SPECIFICATIONS.

**LEGEND**

	EXISTING	PROPOSED
BOUNDARY LINE	---	---
ADJOINING LOT LINE	---	---
RIGHT-OF-WAY	---	---
IRON PIN/CONCRETE MONUMENT	IP	IP
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
FENCE	---	---
SIGNS	---	---
CURBING	---	---
PAVEMENT	---	---
GRAVEL/STONE	---	---
CONCRETE	---	---
BUILDING	---	---
TURF FIELD	---	---
STORM PIPE/INLET/MANHOLE	---	---
SANITARY PIPE/MANHOLE/CLEAN OUT	---	---
WATER LINE/HYDRANT/VALVE	---	---
GAS LINE & VALVE	---	---
OVERHEAD ELECTRIC	---	---
UNDERGROUND ELECTRIC	---	---
UTILITY POLE	---	---
LIGHT POLE	---	---
TREES/SHRUBS	---	---
TREE LINE	---	---
CONTOUR	---	---
SPOTS	---	---
SOILS	---	---

**PAOLI PIKE (S.R. 2014) (CARTWAY WIDTH= +/-27', R/W=60')**

**PLANT MATERIAL LIST**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & CONDITION	SPACING	REMARKS
<b>TREES-DECIDUOUS SHADE</b>						
AP	4	ACER PLATANOIDES 'CRIMSON KING'	NORWAY MAPLE 'CRIMSON KING'	2 1/2" CAL., B&B	AS SHOWN	FULL, BRANCHED CANOPY
NS	3	NYSSA SYLVATICA	BLACK GUM	40" O.C.		
<b>TREES - DECIDUOUS ORNAMENTAL</b>						
CF	3	CORNUS FLORIDA	FLOWERING DOGWOOD	15' O.C.		FULL, SINGLE LEADER
CV	3	CHIONANTHUS VIRGINICUS	YOSHINO CHEERY 'AFTER GLOW'	2 1/2" CAL., B&B	20' O.C.	FULL, BRANCHED CANOPY
<b>TREES - EVERGREEN</b>						
AC	5	ABIES CONCOLOR	WHITE FIR	7'-8" HT., B&B	20' O.C.	

**NOTE:**  
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THE SITE SERIAL NUMBERS ARE 20221443120, 2022160157, AND 2022144349.

CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

Graphic Scale: 1" = 30'

1-800-242-1776

**D'HUY Engineering, Inc.**  
 CONSULTING ENGINEERS: Project Management | Facilities Engineering | Structural Design & Analysis | Forensic Engineering

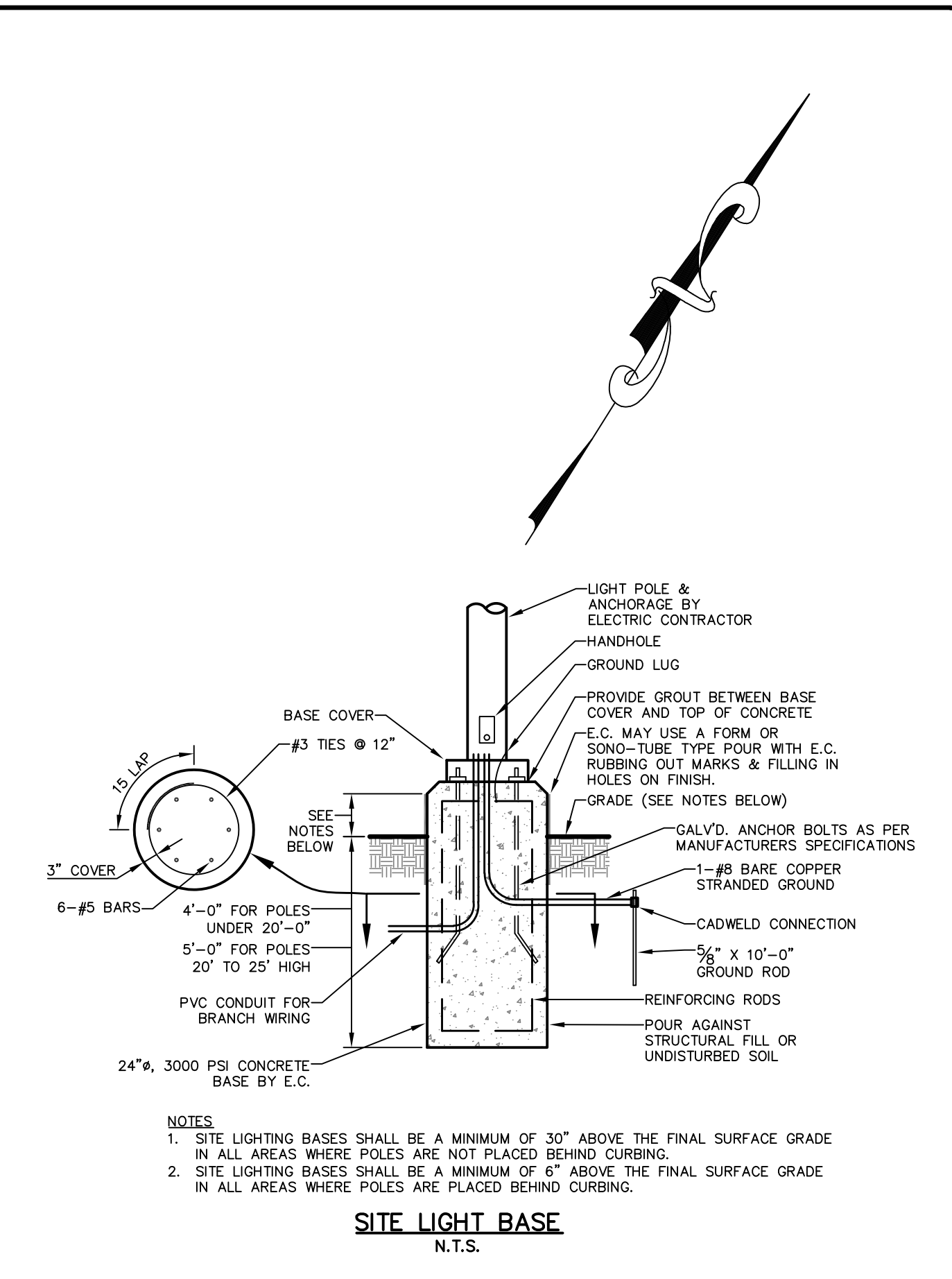
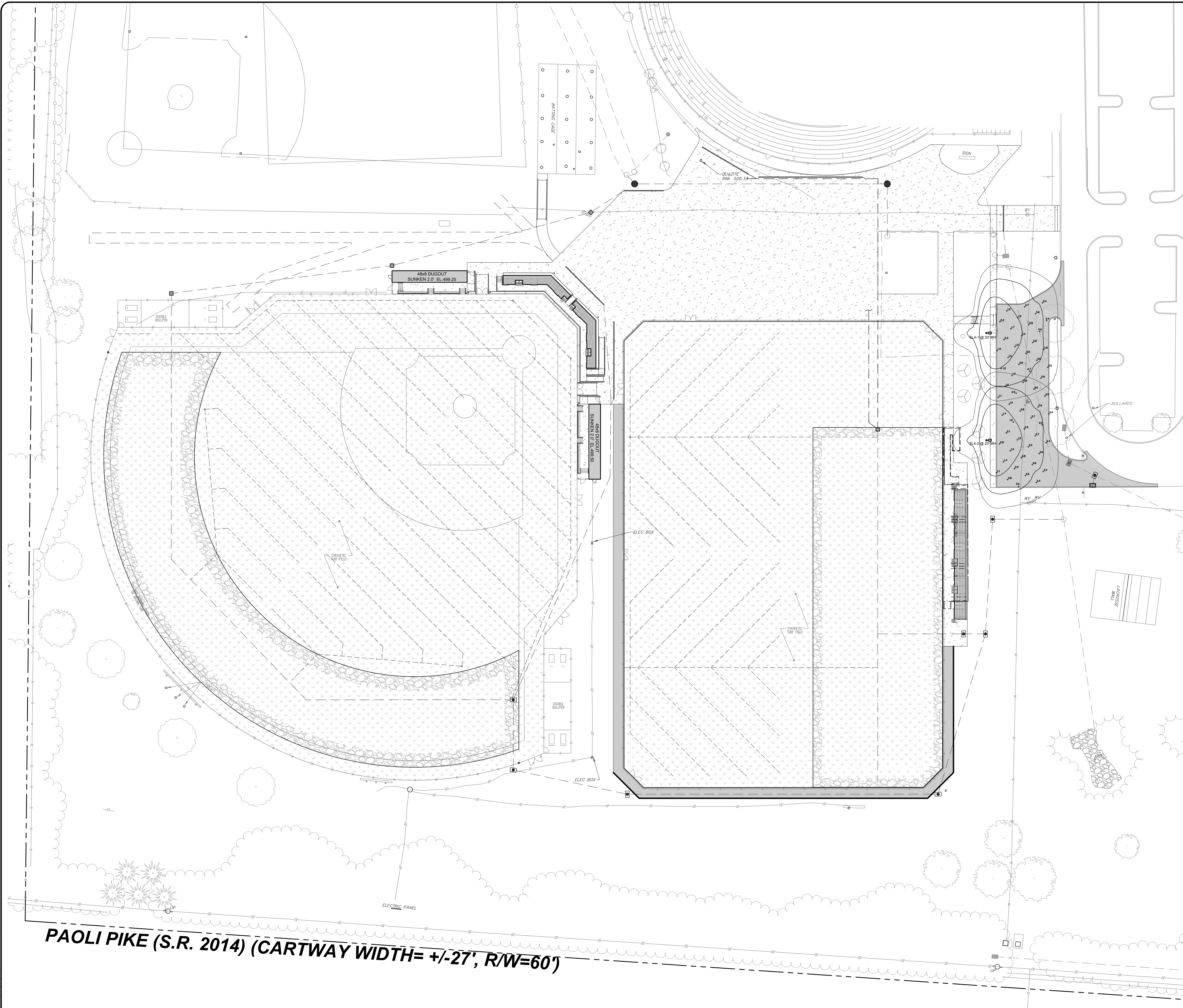
**DEI**

One East Broad Street, Bethlehem, PA. 18018  
 (610)662-3009 • (610)662-0101 • www.dhuy.com

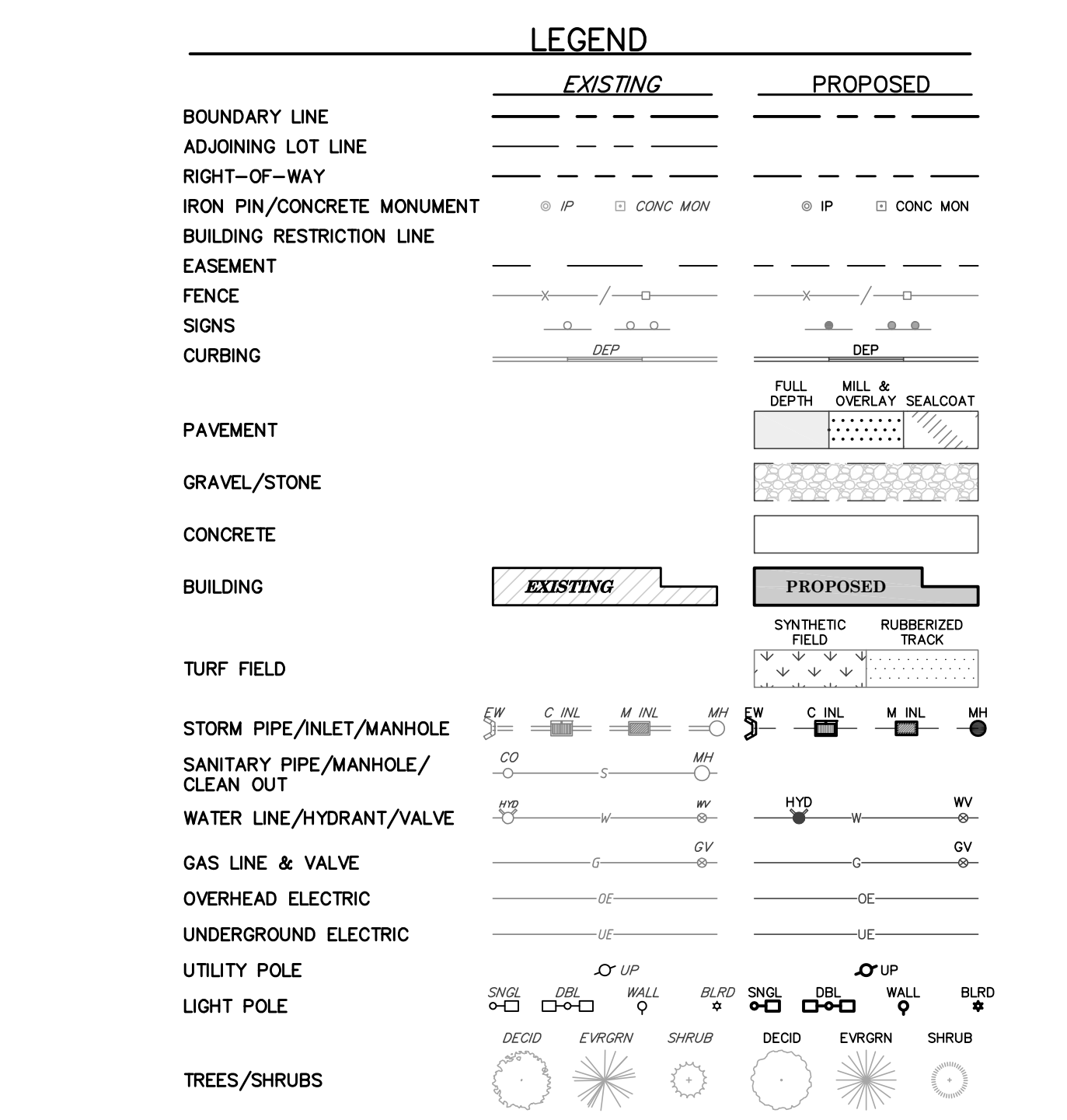
Professional Engineer  
**JUSTIN QUINTUS MASSIE**  
 ENGINEER REG. NO. 1000000000

Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: 1" = 30'  
 Job No. 848001  
 Drawing No. 9 of 19  
**C501**

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- NOTES**
- SITE LIGHTING BASES SHALL BE A MINIMUM OF 30" ABOVE THE FINAL SURFACE GRADE IN ALL AREAS WHERE POLES ARE NOT PLACED BEHIND CURBING.
  - SITE LIGHTING BASES SHALL BE A MINIMUM OF 6" ABOVE THE FINAL SURFACE GRADE IN ALL AREAS WHERE POLES ARE PLACED BEHIND CURBING.
- LIGHTING FIXTURE SCHEDULE NOTES**
- ALL FIXTURES MUST BE SUPPLIED WITH N.E.C. REQUIRED BALLAST, DISCONNECT PLUGS.
  - OWNER TO SELECT FINISH FROM MANUFACTURER FULL LIST OF STANDARD FINISHES.
  - PROVIDE 6" ROUND, NON-TAPERED AL POLE FINISH SHALL MATCH FIXTURE HEAD TO OWNER'S APPROVAL. POLE SHALL MEET FIXTURE HEAD EPA RATING @ 90 MPH WIND AND ARM COORDINATE TENSION WITH FIXTURE HEAD. PROVIDE WITH BASE COLLAR. INSTALL ON CONCRETE BASE AS INDICATED IN DETAIL.
- STANDARDS OF LIGHTING DESIGN**
- ALL EXTERIOR FIXTURES SHALL BE CONTROLLED VIA ASTROMICMIC TIMECLOCK OR TIMECLOCK AND PHOTOCELL.
  - FINAL LIGHTING DESIGN SHALL MEET IESNA RECOMMENDATIONS FOR LIGHT LEVELS AN UNIFORMITY.
  - ALL EXTERIOR LIGHTING SHALL BE DESIGNED TO MINIMIZE LIGHT TRESPASS AND GLARE.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND COORDINATE WITH THE SITE CONTRACTOR THE LOCATION OF NEW UTILITIES. ALL MINIMUM REQUIRED SEPARATIONS SHALL BE MAINTAINED BETWEEN THE ELECTRICAL LINES, LIGHT POLE BASES, AND OTHER UTILITIES, INCLUDING, BUT NOT LIMITED TO, STORM SEWERS, SANITARY, WATER, GAS, ETC.
  - THE BOROUGH RESERVES THE RIGHT TO CONDUCT A POST-INSTALLATION NIGHTTIME INSPECTION TO VERIFY COMPLIANCE WITH THE REQUIREMENTS OF THE ORDINANCES, AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE BOROUGH.
  - FLOODLIGHTING AND OUTDOOR LIGHTING IN ALL DISTRICTS SHALL BE DIFFUSED, DIRECTED, SHIELDED, LOCATED, DESIGNED, AND MAINTAINED IN SUCH A MANNER AS NOT TO PRESENT ANY HAZARDOUS SITUATIONS FOR PASSING VEHICULAR OR PEDESTRIAN TRAFFIC OR CREATE A NEIGHBORHOOD BY OBSCURABLE LIGHT PROJECTED BEYOND ITS LOT LINE ONTO A NEIGHBORING USE OR PROPERTY.
  - ALL OUTDOOR LIGHTING SHALL BE SHIELDED TO ELIMINATE GLARE BEYOND AN ANGLE OF 35° FROM A VERTICAL PLANE AND NO GLARE SHALL BE DISCERNABLE BEYOND ITS LOT LINE ONTO ADJACENT PROPERTIES. ALL FIXTURES SHALL BE EQUIPPED WITH OR HAVE THE CAPACITY TO BE EQUIPPED WITH LIGHT DIRECTING OR SHIELDING OF A TYPE AND DESIGN APPROPRIATE TO THE LIGHTING APPLICATION FOR THE PURPOSE OF REDUCING OFFENDING LIGHT OR REDUCING DIRECT OR REFLECTED GLARE.
  - FLOODLIGHTS AND SPOTLIGHTS SHALL NOT BE ARMED, INSTALLED, OR DIRECTED AS TO PROJECT INTO THE WINDOWS OF NEIGHBORING RESIDENTIAL USES, AND SHALL NOT BE DIRECTED SKYWARD OR ONTO A ROADWAY.
  - LIGHTING PROPOSED FOR USE AFTER 11:00 PM OR AFTER THE NORMAL HOURS OF OPERATION FOR ANY NON-RESIDENTIAL USE SHALL BE REDUCED BY 75% BETWEEN 11:00 PM AND DAWN, UNLESS FOR AN EXPRESS PURPOSES APPROVED BY THE BOROUGH.
  - NO OUTDOOR LIGHTING SHALL HAVE BLINKING, FLASHING, OR FLUTTERING LIGHTS OR DEVICES THAT CAUSE CHANGING INTENSITY, BRIGHTNESS, OR COLOR.
  - EXCEPT FOR PUBLIC STREET LIGHTS AND TRAFFIC SIGNALS, FREESTANDING LIGHT FIXTURES SHALL NOT EXCEED 20 FEET IN HEIGHT.
  - ALL LIGHTING STANDARDS AND NECESSARY EQUIPMENT SHALL BE APPROVED BY THE APPROPRIATE UTILITY.
  - ALL OUTDOOR LIGHTING FIXTURES AND ANGLARY EQUIPMENT SHALL BE MAINTAINED AS TO CONTINUOUSLY MEET THE REQUIREMENTS OF THE BOROUGH ORDINANCES.



**LIGHTING FIXTURE SCHEDULE**

SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	LLF	INPUT POWER	NOTES
SL4		2	LITHONIA LIGHTING	RSX1 LED P1 30K R4	REX AREA FIXTURE SIZE 1 P1 LUMEN PACKAGE 3000K CCT TYPE R4 DISTRIBUTION	6543	0.9	51	20' MOUNTING HEIGHT

**LIGHTING STATISTICS**

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/ MIN	AVG/ MIN
ESTIMATED LED LIGHTING AT GRADE	+ 0.9 fc	0.9 fc	2.8 fc	0.4 fc	7.0:1	2.3:1

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 Pennsylvania One Call System, Inc. 1-800-242-1776

**GENERAL PLAN TEXT NOTE:**  
 VERTICAL TEXT INDICATES PROPOSED FEATURES  
 SLANTED TEXT INDICATES EXISTING FEATURES

**GRAPHIC SCALE**  
 1" = 30 ft

**Revisions**

No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

**erraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-485-1452 www.erraformengineering.com

**PRELIMINARY/ FINAL**

MALVERN PREPARATORY SCHOOL

PENNSYLVANIA

PRELIMINARY/ FINAL

ATHLETIC FACILITY IMPROVEMENTS

SITE LIGHTING PLAN

**D'HUY Engineering, Inc.**  
 CONSULTING ENGINEERS: Project Management | Facilities Engineering | Structural Design & Analysis | Forensic Engineering

**DEI**

One East Broad Street, Bethlehem, PA, 18018  
 (610)662-3000 • (610)662-0100 ext. 2 • www.dhuy.com

**PROFESSIONAL SEAL**  
 JUSTIN QUINTUS MASSIE  
 ENGINEER  
 PROFESSIONAL

Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: 1" = 30'  
 Job No. 848001  
 Drawing No. 10 of 19  
**C502**



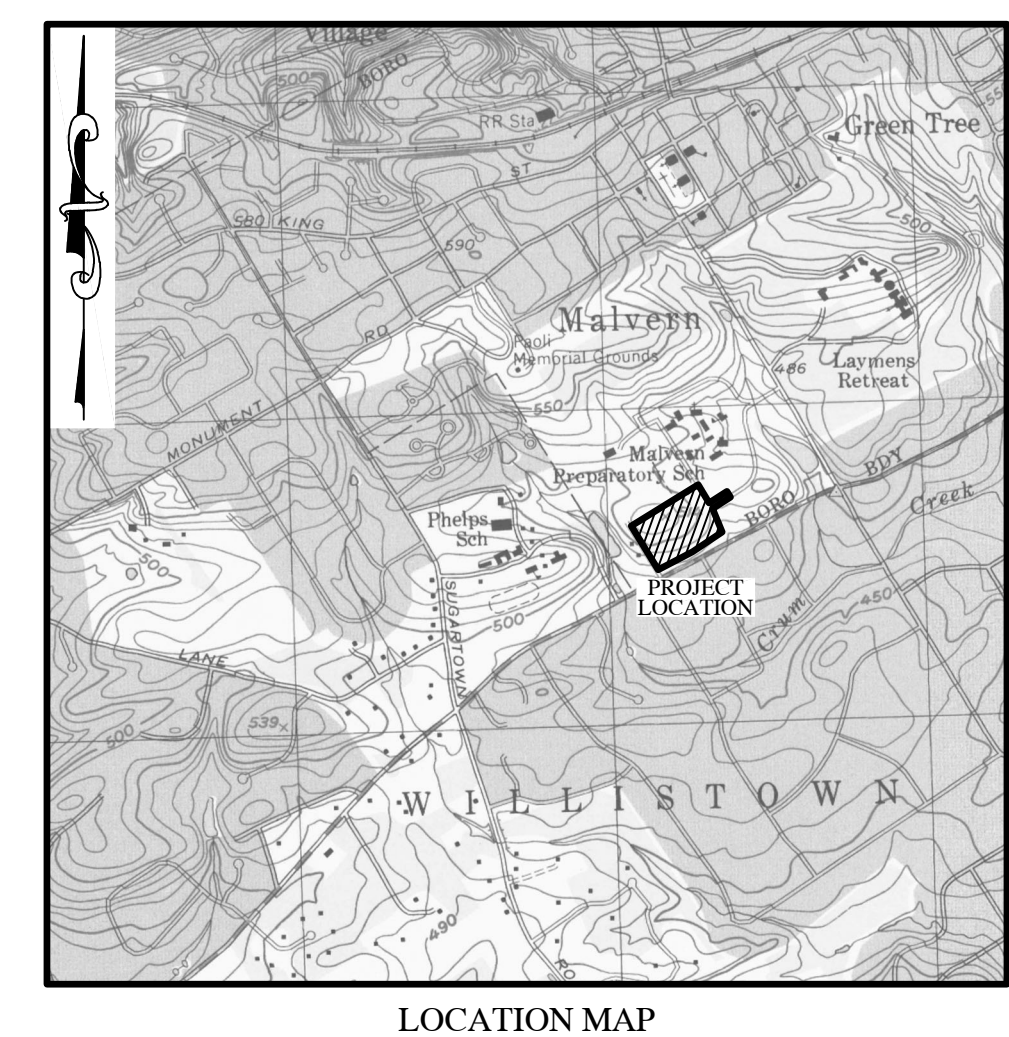
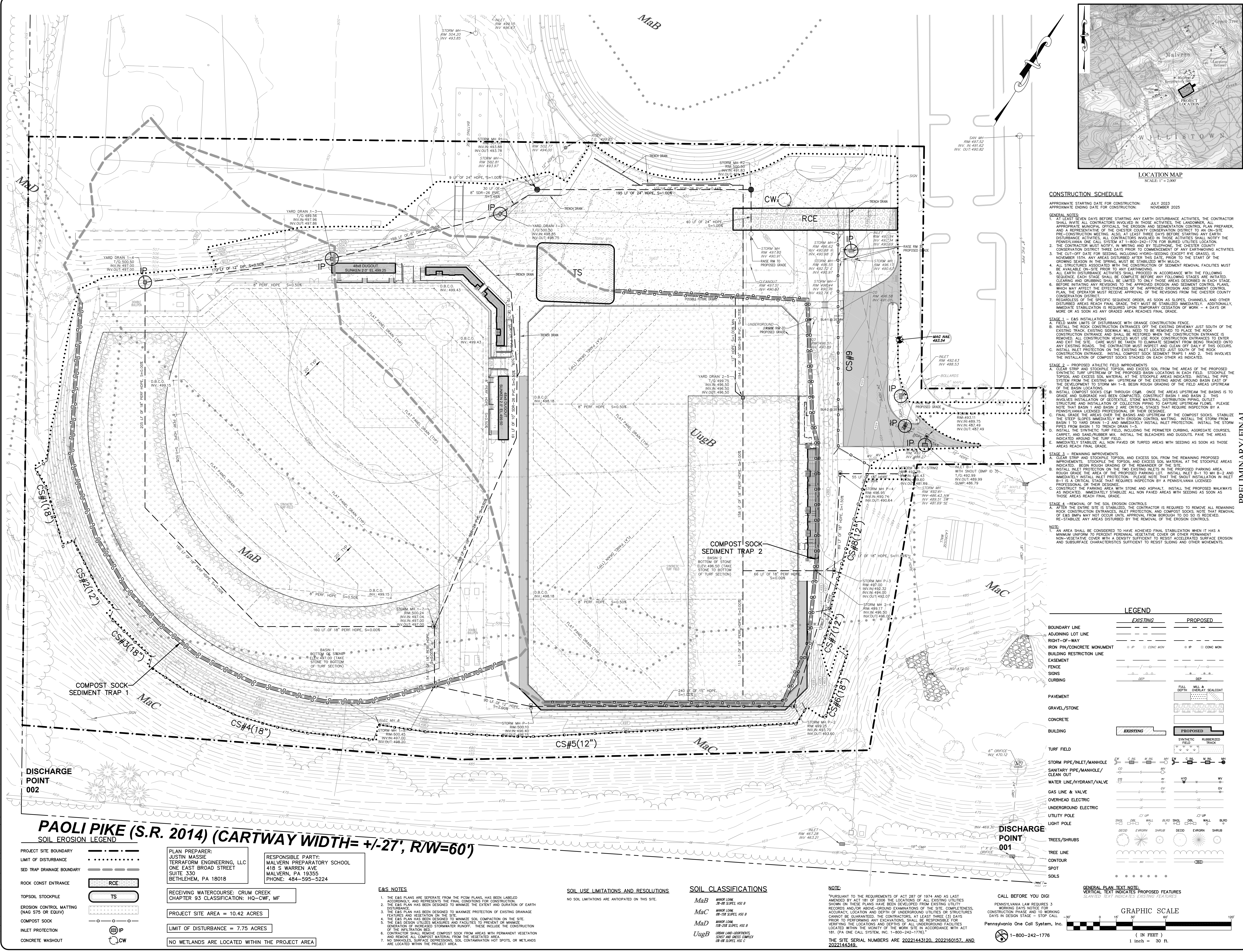
Revisions		
No.	Date	Description
1	03/13/23	CCCD COMMENTS
2	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 330  
 BETHLEHEM, PA 18018  
 PHONE: 610-488-4452 www.terraformengineering.com

**PRELIMINARY/FINAL**  
 MALVERN PREPARATORY SCHOOL  
 MALVERN, PENNSYLVANIA  
 PRELIMINARY/FINAL  
 ATHLETIC FACILITY IMPROVEMENTS  
 EROSION & SEDIMENT CONTROL PLAN

**D'HUY Engineering, Inc.**  
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**PAOLI PIKE (S.R. 2014)**  
 Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: 1" = 30'  
 Job No. 848001  
 Drawing No. 12 of 19  
**C601**



**CONSTRUCTION SCHEDULE**  
 APPROXIMATE STARTING DATE FOR CONSTRUCTION: JULY 2023  
 APPROXIMATE ENDING DATE FOR CONSTRUCTION: NOVEMBER 2023

**GENERAL NOTES:**

- AT LEAST SEVEN DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE CHESTER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 FOR ANY UNDERGROUND UTILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE. THE CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED PRIOR TO COMMENCING ANY EARTH DISTURBANCE ACTIVITIES.
- THE CONTRACTOR MUST NOTIFY, IN WRITING AND BY TELEPHONE, THE CHESTER COUNTY CONSERVATION DISTRICT PRIOR TO COMMENCING ANY EARTH DISTURBANCE ACTIVITIES.
- THE CUT-OFF DATE FOR SEEDING, INCLUDING HYDRO-SEEDING (EXCEPT RYE GRASS), IS NOVEMBER 15TH. ANY AREAS DISTURBED AFTER THIS DATE PRIOR TO THE START OF THE GROWING SEASON IN THE SPRING MUST BE STABILIZED WITH MULCH.
- ALL STRIPES ASSOCIATED WITH THE CONSTRUCTION OF SEDIMENT REMOVAL FACILITIES MUST BE AVAILABLE ON-SITE PRIOR TO ANY EARTHWORK.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETE BEFORE ANY FOLLOWING STAGES ARE INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT.
- REGARDLESS OF THE SPECIFIC SEQUENCE ORDER, AS SOON AS SLOPES, CHANNELS, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED IMMEDIATELY. ADDITIONALLY, IMMEDIATE STABILIZATION IS REQUIRED UPON TEMPORARY CESSATION OF WORK - 1 DAY OR MORE OR AS SOON AS ANY GRADED AREA REACHES FINAL GRADE.

**STAGE 1 - EAS INSTALLATIONS**

- FIELD MARK LIMITS OF DISTURBANCE WITH ORANGE CONSTRUCTION FENCE.
- INSTALL THE ROCK CONSTRUCTION ENTRANCES OFF THE EXISTING DRIVEWAY JUST SOUTH OF THE EXISTING TRACK. EXISTING SIDEWALK WILL NEED TO BE REMOVED TO PLACE THE ROCK CONSTRUCTION ENTRANCE AND SHALL BE RESTORED WHEN THE CONSTRUCTION ENTRANCE IS REMOVED. ALL CONSTRUCTION VEHICLES MUST USE ROCK CONSTRUCTION ENTRANCES TO ENTER AND EXIT THE SITE. CARE MUST BE TAKEN TO ELIMINATE SEDIMENT FROM BEING TRACKED ONTO ANY EXISTING ROADS. THE CONTRACTOR MUST CLEAN AND CLEAR OFF DIRT IF THIS OCCURS.
- INSTALL INLET PROTECTION ON THE EXISTING INLET LOCATED JUST SOUTH OF THE ROCK CONSTRUCTION ENTRANCE. INSTALL COMPOST SOCK SEDIMENT TRAP #1 AND #2. THIS INVOLVES THE INSTALLATION OF COMPOST SOCKS STACKED ON EACH OTHER AS INDICATED.

**STAGE 2 - PROPOSED ATHLETIC FIELD IMPROVEMENTS**

- CLEAR STRIP AND STOCKPILE TOPSOIL AND EXCESS SOIL FROM THE AREAS OF THE PROPOSED SYNTHETIC TURF UPSTREAM OF THE PROPOSED BASIN LOCATIONS IN EACH FIELD. STOCKPILE THE TOPSOIL AND EXCESS SOIL MATERIAL AT THE STOCKPILE AREA EAST OF THE AREAS EAST OF THE SYSTEM FROM THE EXISTING MH UPSTREAM OF THE EXISTING ABOVE GROUND BASIN EAST OF THE DEVELOPMENT TO STORM MH 1-1. BEGIN ROUGH GRADING OF THE FIELD AREAS UPSTREAM OF THE BASIN LOCATIONS.
- INSTALL THE STONE MATERIAL DISTRIBUTION PIPING, COLLECT STRUCTURE AND INSTALLATION OF COLLECTION PIPING TO CAPTURE UPSTREAM FLOWS. PLEASE NOTE THAT THE STONE MATERIAL DISTRIBUTION PIPING THAT REQUIRES INSPECTION BY A PENNSYLVANIA LICENSED PROFESSIONAL OR THEIR DESIGNEE.
- FINAL GRADE THE AREAS OVER THE BASINS AND UPSTREAM OF THE COMPOST SOCKS. STABILIZE THE SLOPES IMMEDIATELY WITH EROSION CONTROL MATTING. INSTALL THE STORM FROM BASIN 1 TO YARD DRAIN 1-5 AND IMMEDIATELY INSTALL INLET PROTECTION. INSTALL THE STORM PIPES FROM BASIN 1 TO TRENCH DRAIN 1-5.
- INSTALL THE SYNTHETIC TURF FIELD, INCLUDING THE PERIMETER CURBING, AGGREGATE COURSES, CARPET, AND SAND/RUBBER MIX. INSTALL THE BLEACHERS AND DOUGLASS PAVE THE AREAS INDICATED AROUND THE TURF FIELD.
- IMMEDIATELY STABILIZE ALL NON PAVED OR TURFED AREAS WITH SEEDING AS SOON AS THOSE AREAS REACH FINAL GRADE.

**STAGE 3 - REMAINING IMPROVEMENTS**

- CLEAR STRIP AND STOCKPILE TOPSOIL AND EXCESS SOIL FROM THE REMAINING PROPOSED IMPROVEMENTS. STOCKPILE THE TOPSOIL AND EXCESS SOIL MATERIAL AT THE STOCKPILE AREA INDICATED. BEGIN ROUGH GRADING OF THE REMAINING OF THE SITE.
- INSTALL INLET PROTECTION ON THE TWO EXISTING INLETS IN THE PROPOSED PARKING AREA. INSTALL THE STONE MATERIAL DISTRIBUTION PIPING, COLLECT STRUCTURE AND INSTALLATION OF COLLECTION PIPING TO CAPTURE UPSTREAM FLOWS. PLEASE NOTE THAT THE STONE MATERIAL DISTRIBUTION PIPING THAT REQUIRES INSPECTION BY A PENNSYLVANIA LICENSED PROFESSIONAL OR THEIR DESIGNEE.
- FINAL GRADE THE PARKING AREA WITH STONE AND ASPHALT. INSTALL THE PROPOSED WALKWAYS AS INDICATED. IMMEDIATELY STABILIZE ALL NON PAVED AREAS WITH SEEDING AS SOON AS THOSE AREAS REACH FINAL GRADE.

**STAGE 4 - REMOVAL OF THE SOIL EROSION CONTROLS**

AFTER THE ENTIRE SITE IS STABILIZED, THE CONTRACTOR IS REQUIRED TO REMOVE ALL REMAINING ROCK CONSTRUCTION ENTRANCES, INLET PROTECTION, AND COMPOST SOCKS. NOTE THAT REMOVAL OF EAS IMP'S MAY NOT OCCUR UNTIL APPROVAL FROM BOROUGH TO DO SO IS RECEIVED. RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS.

**NOTE:**  
 AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-ERODIBLE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCEPTED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

**LEGEND**

	EXISTING	PROPOSED
BOUNDARY LINE	[Symbol]	[Symbol]
ADJOINING LOT LINE	[Symbol]	[Symbol]
RIGHT-OF-WAY	[Symbol]	[Symbol]
IRON PIN/CONCRETE MONUMENT	[Symbol]	[Symbol]
BUILDING RESTRICTION LINE	[Symbol]	[Symbol]
EASEMENT	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
SIGNS	[Symbol]	[Symbol]
CURBING	[Symbol]	[Symbol]
PAVEMENT	[Symbol]	[Symbol]
GRAVEL/STONE	[Symbol]	[Symbol]
CONCRETE	[Symbol]	[Symbol]
BUILDING	[Symbol]	[Symbol]
TURF FIELD	[Symbol]	[Symbol]
STORM PIPE/INLET/MANHOLE	[Symbol]	[Symbol]
SANITARY PIPE/MANHOLE/CLEAN OUT	[Symbol]	[Symbol]
WATER LINE/HYDRANT/VALVE	[Symbol]	[Symbol]
GAS LINE & VALVE	[Symbol]	[Symbol]
OVERHEAD ELECTRIC	[Symbol]	[Symbol]
UNDERGROUND ELECTRIC	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
TREES/SHRUBS	[Symbol]	[Symbol]
TREE LINE	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]
SPOT	[Symbol]	[Symbol]
SOILS	[Symbol]	[Symbol]

**GENERAL PLAN TEXT NOTES:**  
 BOLD TEXT INDICATES PROPOSED FEATURES  
 SLANTED TEXT INDICATES EXISTING FEATURES

**GRAPHIC SCALE**  
 1 inch = 30 feet

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL 1-800-242-1776  
 Pennsylvania One Call System, Inc.

**PAOLI PIKE (S.R. 2014) (CARTWAY WIDTH= +/- 27', R/W=60')**

**SOIL EROSION LEGEND**

PROJECT SITE BOUNDARY	[Symbol]
LIMIT OF DISTURBANCE	[Symbol]
SED TRAP DRAINAGE BOUNDARY	[Symbol]
ROCK CONST ENTRANCE	[Symbol]
TOPSOIL STOCKPILE	[Symbol]
EROSION CONTROL MATTING (MAG 575 OR EQUIV)	[Symbol]
COMPOST SOCK	[Symbol]
INLET PROTECTION	[Symbol]
CONCRETE WASHOUT	[Symbol]

PLAN PREPARER:  
 JUSTIN MASSIE  
 TERRAFORM ENGINEERING, LLC  
 ONE EAST BROAD STREET  
 SUITE 330  
 BETHLEHEM, PA 18018

RESPONSIBLE PARTY:  
 MALVERN PREPARATORY SCHOOL  
 418 S WARREN AVE  
 MALVERN, PA 19355  
 PHONE: 484-595-5224

RECEIVING WATERCOURSE: CRUM CREEK  
 CHAPTER 93 CLASSIFICATION: HQ-CWF, MF

PROJECT SITE AREA = 10.42 ACRES  
 LIMIT OF DISTURBANCE = 7.75 ACRES  
 NO WETLANDS ARE LOCATED WITHIN THE PROJECT AREA

**E&S NOTES**

- THE EAS PLANS ARE SEPARATE FROM THE PSM PLANS, HAS BEEN LABELED ACCORDINGLY, AND REPRESENTS THE FINAL CONDITIONS FOR CONSTRUCTION.
- THE EAS PLAN HAS BEEN DESIGNED TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE.
- THE EAS PLAN HAS BEEN DESIGNED TO MAXIMIZE PROTECTION OF EXISTING DRAINAGE.
- THE EAS PLAN HAS BEEN DESIGNED TO MINIMIZE SOIL COMPACTION ON THE SITE.
- THE EAS PLAN HAS BEEN DESIGNED TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF. THESE INCLUDE THE CONSTRUCTION OF THE IMP'S.
- CONTRACTOR SHALL REMOVE COMPOST SOCK FROM AREAS WITH PERMANENT VEGETATION AND REMOVE ALL COMPOST MATERIAL FROM THE VEGETATED AREA.
- NO SNOWDROPS, SURFACE DEPRESSIONS, SOIL CONTAMINATION HOT SPOTS, OR WETLANDS ARE LOCATED WITHIN THE PROJECT AREA.

**SOIL USE LIMITATIONS AND RESOLUTIONS**  
 NO SOIL LIMITATIONS ARE ANTICIPATED ON THIS SITE.

**SOIL CLASSIFICATIONS**

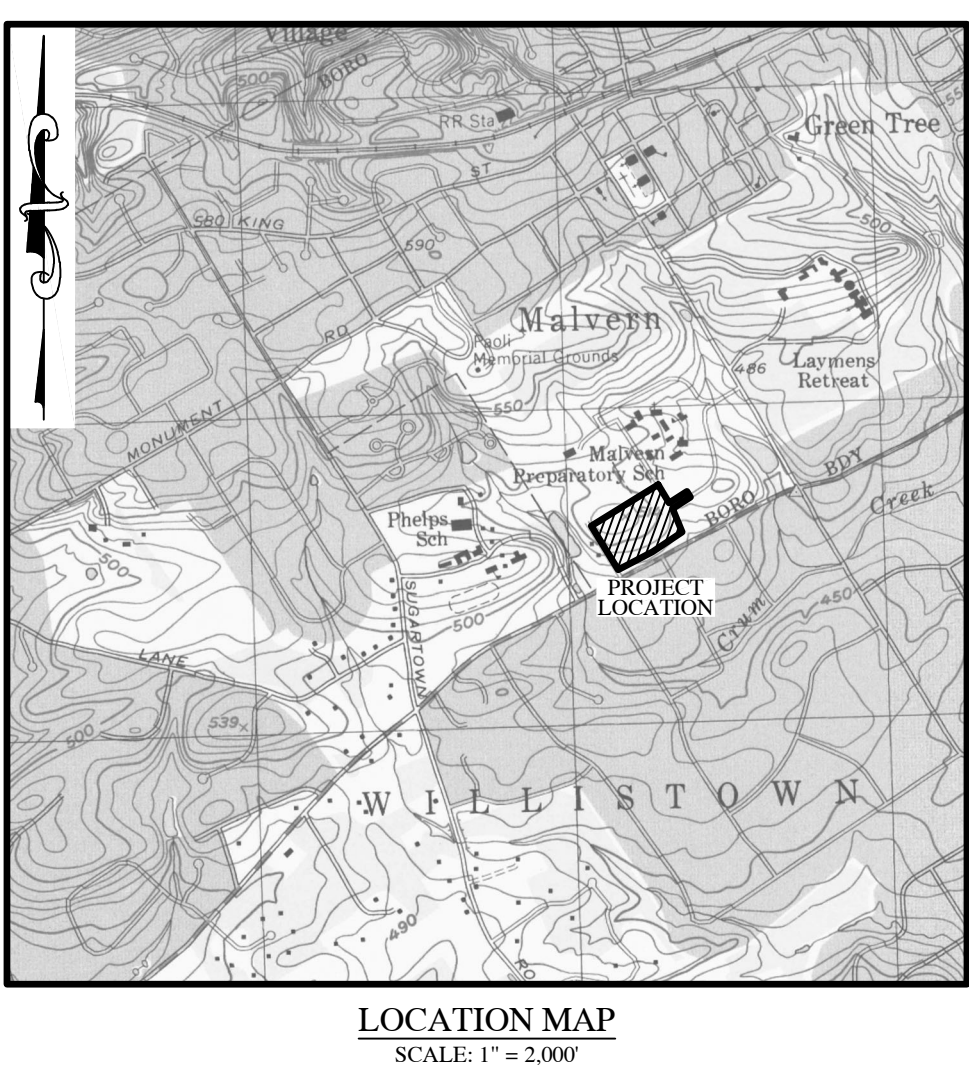
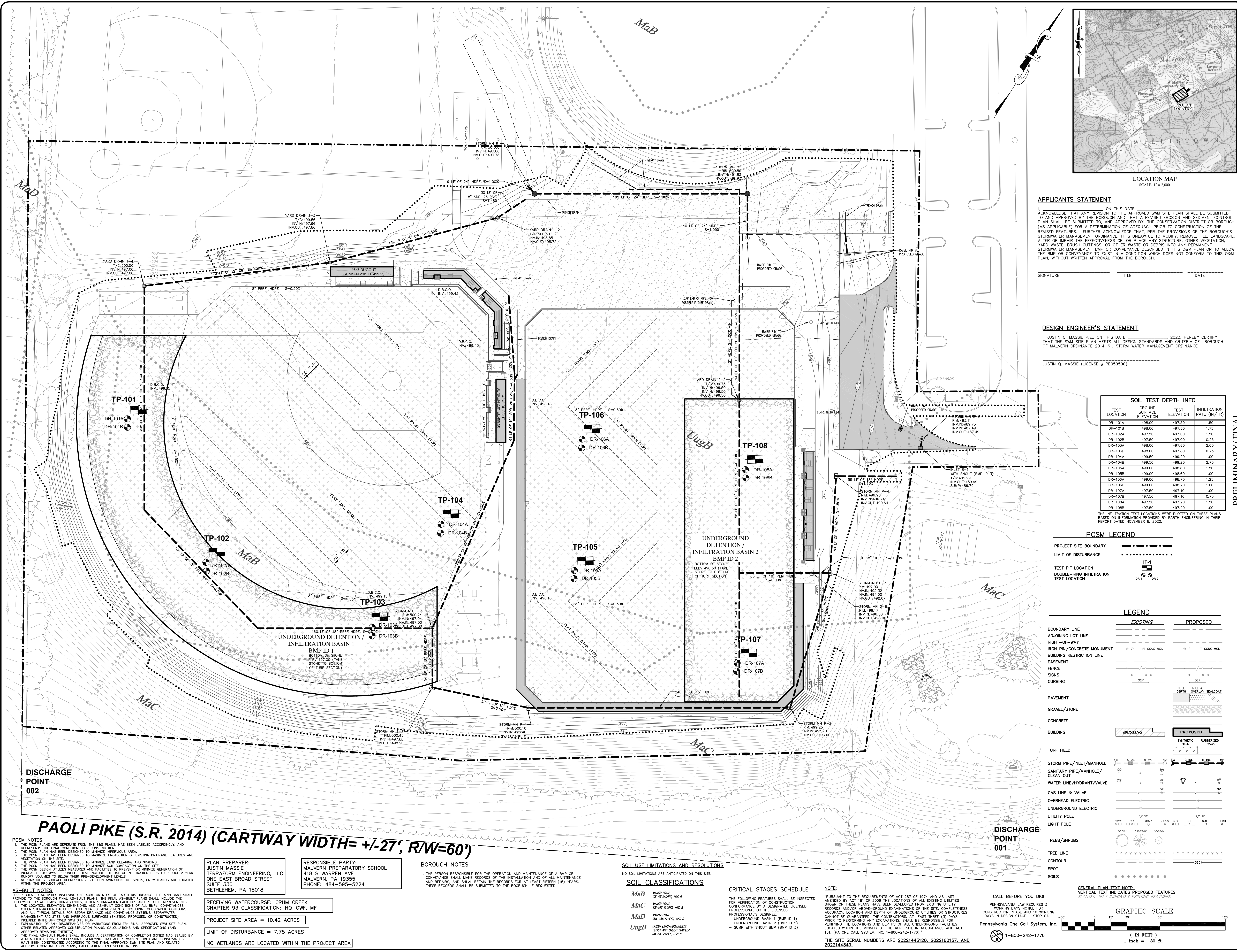
<b>MaB</b>	MANKER LOAM, 2% OR MORE CLAY, 2% OR MORE SAND
<b>MaC</b>	MANKER LOAM, 2% OR MORE CLAY, 2% OR MORE SAND
<b>MaD</b>	MANKER LOAM, 2% OR MORE CLAY, 2% OR MORE SAND
<b>UuB</b>	URBAN LAND-DEVELOPMENTS, 2% OR MORE SAND, 2% OR MORE CLAY, 2% OR MORE SAND

**NOTE:**  
 PURSUANT TO THE REQUIREMENTS OF ACT 287 OF 1974 AND AS LAST AMENDED BY ACT 181 OF 2006 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 181, (PA ONE CALL SYSTEM, INC. 1-800-242-1776).

THE SITE SERIAL NUMBERS ARE 20221443120, 20221610517, AND 20221443449.







Revisions		
No.	Date	Description
1	03/13/23	CCCD COMMENTS
2	04/27/23	BOROUGH COMMENTS

**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 330  
 BETHLEHEM, PA 18018  
 PHONE: 610-488-1452 www.terraformengineering.com

**APPLICANTS STATEMENT**  
 I, JUSTIN Q. MASSE, P.E., ON THIS DATE \_\_\_\_\_, 2023, ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE BOROUGH AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR BOROUGH (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES. I FURTHER ACKNOWLEDGE THAT, PER THE PROVISIONS OF THE BOROUGH'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FULLY LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE BOROUGH.

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**DESIGN ENGINEER'S STATEMENT**  
 I, JUSTIN Q. MASSE, P.E., ON THIS DATE \_\_\_\_\_, 2023, HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF BOROUGH OF MALVERN ORDINANCE 2014-61, STORM WATER MANAGEMENT ORDINANCE.  
 JUSTIN Q. MASSE (LICENSE # PE05690)

SOIL TEST DEPTH INFO			
TEST LOCATION	GROUND SURFACE ELEVATION	TEST ELEVATION	INFILTRATION RATE (IN/HR)
DR-101A	498.00	497.50	1.50
DR-101B	498.00	497.50	1.75
DR-102A	497.50	497.00	1.50
DR-102B	497.50	497.00	0.25
DR-103A	498.00	497.80	2.00
DR-103B	498.00	497.80	0.75
DR-104A	499.50	499.20	1.00
DR-104B	499.50	499.20	2.75
DR-105A	499.00	498.60	1.50
DR-105B	499.00	498.60	1.00
DR-106A	499.00	498.70	1.25
DR-106B	499.00	498.70	1.00
DR-107A	497.50	497.10	1.00
DR-107B	497.50	497.10	0.75
DR-108A	497.50	497.20	1.50
DR-108B	497.50	497.20	1.00

**PCSM LEGEND**  
 PROJECT SITE BOUNDARY: - - - - -  
 LIMIT OF DISTURBANCE: . . . . .  
 TEST PIT LOCATION: IT-1, IT-2  
 DOUBLE-RING INFILTRATION TEST LOCATION: DR-101A, DR-101B, etc.

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
ADJOINING LOT LINE	ADJOINING LOT LINE
RIGHT-OF-WAY	RIGHT-OF-WAY
IRON PIN/CONCRETE MONUMENT	IRON PIN/CONCRETE MONUMENT
BUILDING RESTRICTION LINE	BUILDING RESTRICTION LINE
EASEMENT	EASEMENT
FENCE	FENCE
SIGNS	SIGNS
CURBING	CURBING
PAVEMENT	PAVEMENT
GRAVEL/STONE	GRAVEL/STONE
CONCRETE	CONCRETE
BUILDING	BUILDING
TURF FIELD	TURF FIELD
STORM PIPE/INLET/MANHOLE	STORM PIPE/INLET/MANHOLE
SANITARY PIPE/MANHOLE/CLEAN OUT	SANITARY PIPE/MANHOLE/CLEAN OUT
WATER LINE/HYDRANT/VALVE	WATER LINE/HYDRANT/VALVE
GAS LINE & VALVE	GAS LINE & VALVE
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE
TREES/SHRUBS	TREES/SHRUBS
TREE LINE	TREE LINE
CONTOUR	CONTOUR
SPOT	SPOT
SOILS	SOILS

**GENERAL PLAN TEXT NOTE:**  
 VERTICAL TEXT INDICATES PROPOSED FEATURES  
 SLANTED TEXT INDICATES EXISTING FEATURES

**GRAPHIC SCALE**  
 1" = 30'

CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL 3-1-1  
 Pennsylvania One Call System, Inc. 1-800-242-1776

**PCSM NOTES**  
 1. THE PCSM PLANS ARE SEPARATE FROM THE E&S PLANS, HAS BEEN LABELED ACCORDINGLY, AND REPRESENTS THE FINAL CONDITIONS FOR CONSTRUCTION.  
 2. THE PCSM PLAN HAS BEEN DESIGNED TO MINIMIZE IMPERVIOUS AREA.  
 3. THE PCSM PLAN HAS BEEN DESIGNED TO MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION ON THE SITE.  
 4. THE PCSM PLAN HAS BEEN DESIGNED TO MINIMIZE LAND CLEARING AND GRADING.  
 5. THE PCSM PLAN HAS BEEN DESIGNED TO MINIMIZE SOIL COMPACTION ON THE SITE.  
 6. THE PCSM PLAN HAS BEEN DESIGNED TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF. THESE INCLUDE THE USE OF INFILTRATION BEDS TO REDUCE 2 YEAR RUNOFF VOLUMES TO BELOW THEIR PRE-DEVELOPMENT LEVELS.  
 7. NO SPHINKLES, SURFACE DEPRESSIONS, SOIL CONTAMINATION HOT SPOTS, OR WETLANDS ARE LOCATED WITHIN THE PROJECT AREA.

**AS-BUILT NOTES**  
 FOR REGULATED ACTIVITIES INVOLVING ONE ACRE OR MORE OF EARTH DISTURBANCE, THE APPLICANT SHALL PROVIDE TO THE BOROUGH FINAL AS-BUILT PLANS. THE FINAL AS-BUILT PLANS SHALL INCLUDE THE FOLLOWING FOR ALL BMPs, CONVEYANCES, OTHER STORMWATER FACILITIES AND RELATED IMPROVEMENTS:  
 1. LOCATION, ELEVATION, DIMENSIONS, AND AS-BUILT CONDITIONS OF ALL BMPs, CONVEYANCES, OTHER STORMWATER FACILITIES, AND RELATED IMPROVEMENTS, INCLUDING TOPOGRAPHIC CONTOURS AND ALL TYPICAL DETAILS FOR STORM DRAINAGE AND CONVEYANCE SYSTEMS, STORMWATER MANAGEMENT FACILITIES AND IMPERVIOUS SURFACES (EXISTING, PROPOSED, OR CONSTRUCTED) INCLUDED WITHIN THE APPROVED SWM SITE PLAN.  
 2. EXPLANATION OF ANY DISCREPANCIES OR VARIATIONS FROM THE FINAL APPROVED SWM SITE PLAN, OTHER RELATED APPROVED CONSTRUCTION PLANS, CALCULATIONS AND SPECIFICATIONS (AND APPROVED REVISIONS THEREOF).  
 3. THE FINAL AS-BUILT PLANS SHALL INCLUDE A CERTIFICATION OF COMPLETION SIGNED AND SEALED BY A QUALIFIED LICENSED PROFESSIONAL VERIFYING THAT ALL PERMANENT BMPs AND CONVEYANCES HAVE BEEN CONSTRUCTED ACCORDING TO THE FINAL APPROVED SWM SITE PLAN AND RELATED APPROVED CONSTRUCTION PLANS, CALCULATIONS AND SPECIFICATIONS.

**PLAN PREPARER:**  
 JUSTIN MASSE  
 TERRAFORM ENGINEERING, LLC  
 ONE EAST BROAD STREET  
 SUITE 330  
 BETHLEHEM, PA 18018

**RECEIVING WATERCOURSE:** CRUM CREEK  
 CHAPTER 93 CLASSIFICATION: HQ-CWF, MF

**PROJECT SITE AREA = 10.42 ACRES**

**LIMIT OF DISTURBANCE = 7.75 ACRES**

**NO WETLANDS ARE LOCATED WITHIN THE PROJECT AREA**

**RESPONSIBLE PARTY:**  
 MALVERN PREPARATORY SCHOOL  
 418 S WARREN AVE  
 MALVERN, PA 19355  
 PHONE: 484-595-5224

**BOROUGH NOTES**  
 1. THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF A BMP OR CONVEYANCE SHALL MAKE RECORDS OF THE INSTALLATION AND OF ALL MAINTENANCE AND REPAIRS, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN (15) YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE BOROUGH, IF REQUESTED.

**SOIL USE LIMITATIONS AND RESOLUTIONS**  
 NO SOIL LIMITATIONS ARE ANTICIPATED ON THIS SITE.

**SOIL CLASSIFICATIONS**  
 MaB: 3% OR SLOPES, USE B  
 MaC: 3% OR SLOPES, USE B  
 MaD: 3% OR SLOPES, USE B  
 UuG: 3% OR SLOPES, USE C

**CRITICAL STAGES SCHEDULE**  
 THE FOLLOWING FEATURES SHALL BE INSPECTED FOR VERIFICATION OF CONSTRUCTION PERFORMANCE BY A DESIGNATED LICENSED PROFESSIONAL OR THE LICENSED PROFESSIONAL'S DESIGNEE:  
 - UNDERGROUND BASIN 1 (BMP ID 1)  
 - UNDERGROUND BASIN 2 (BMP ID 2)  
 - SWMP WITH SHOUT (BMP ID 3)

**NOTE:**  
 PURSUANT TO THE REQUIREMENTS OF ACT 287 OF 1974 AND AS LAST AMENDED BY ACT 181 OF 2006 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE, IN ACCORDANCE WITH ACT 181, (PA ONE CALL SYSTEM, INC. 1-800-242-1776).

**THE SITE SERIAL NUMBERS ARE 20221443120, 20221610517, AND 20221443449.**

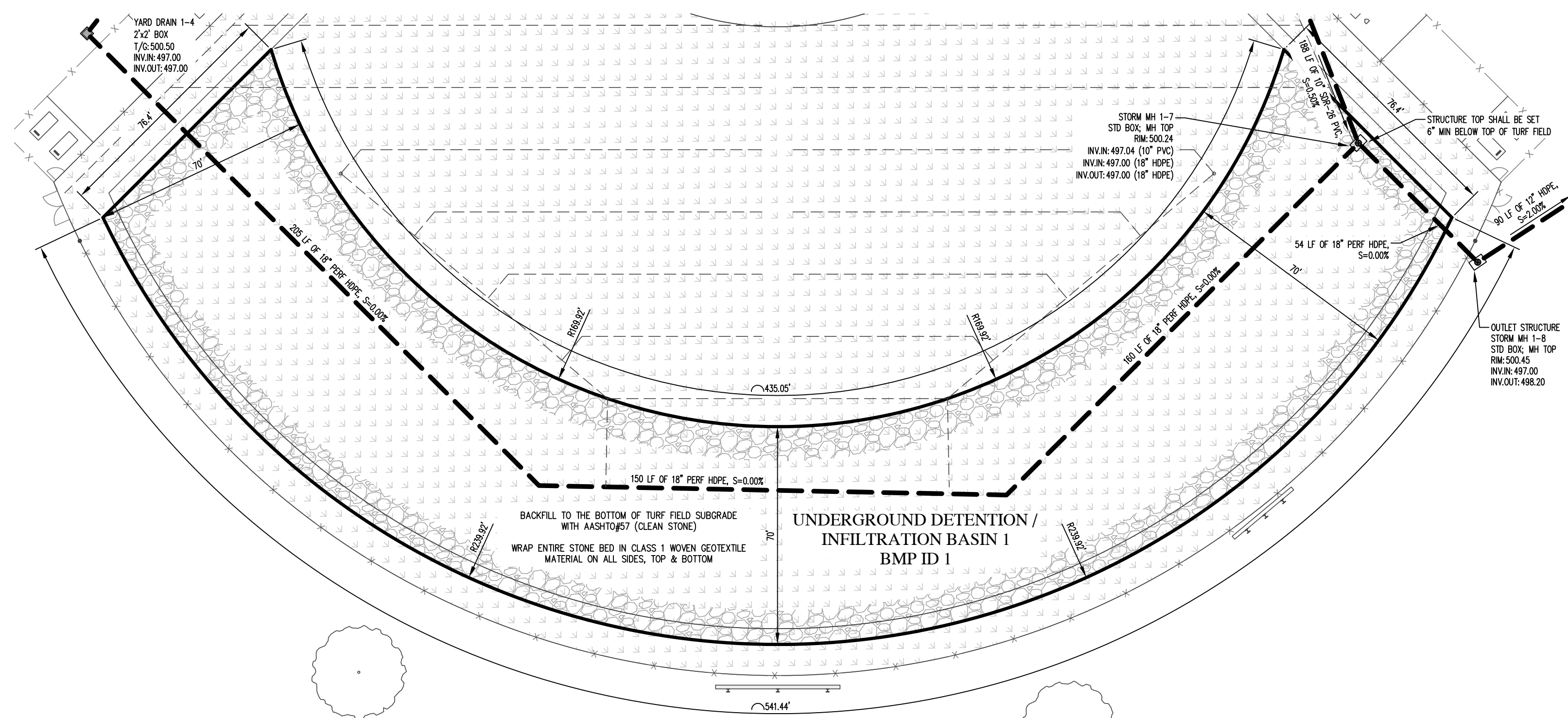
PRELIMINARY/FINAL  
 MALVERN PREPARATORY SCHOOL  
 PENNSYLVANIA  
 MALVERN  
 PRELIMINARY/FINAL  
 ATHLETIC FACILITY IMPROVEMENTS  
 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN / O&M PLAN

**D'HUY Engineering, Inc.**  
 CONSULTING ENGINEERS: Project Management | Facilities Engineering | Structural Design & Analysis | Forensic Engineering

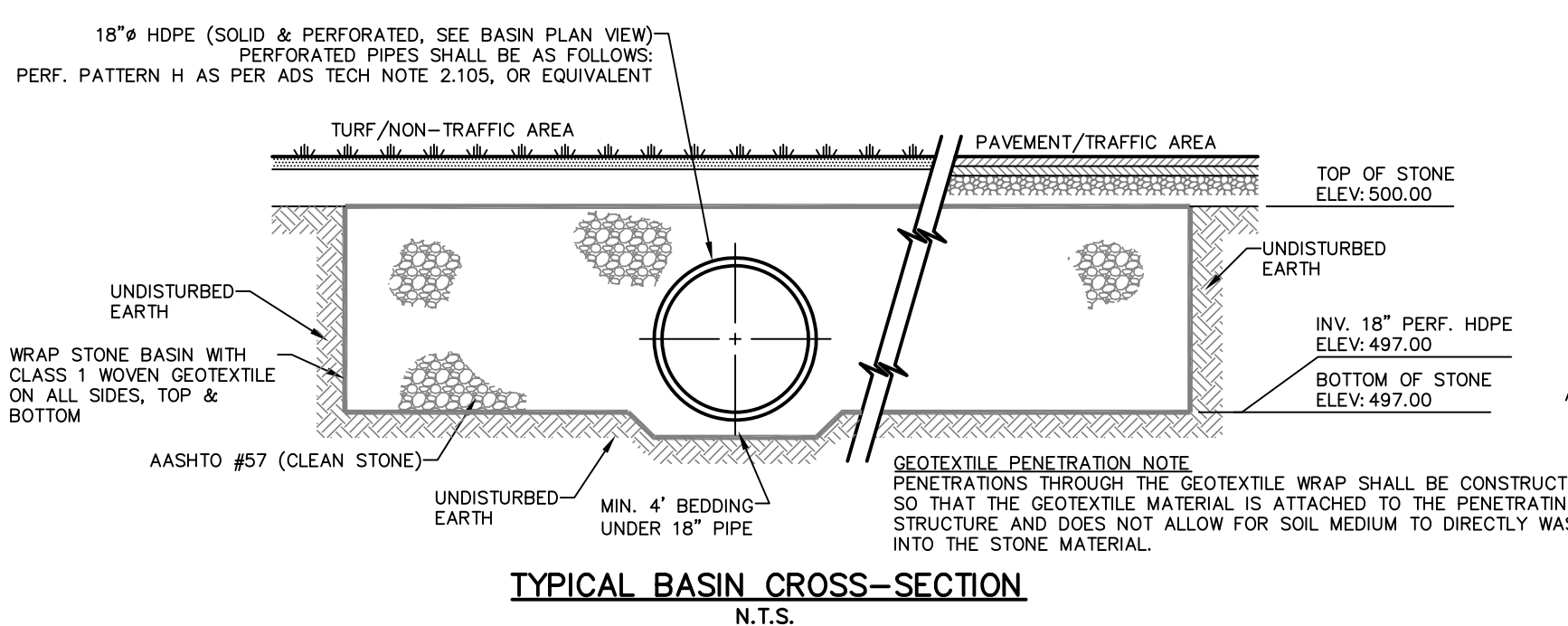
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One East Broad Street, Bethlehem, PA, 18018  
 (610)662-3000 • (610)662-0100 • www.dhuy.com

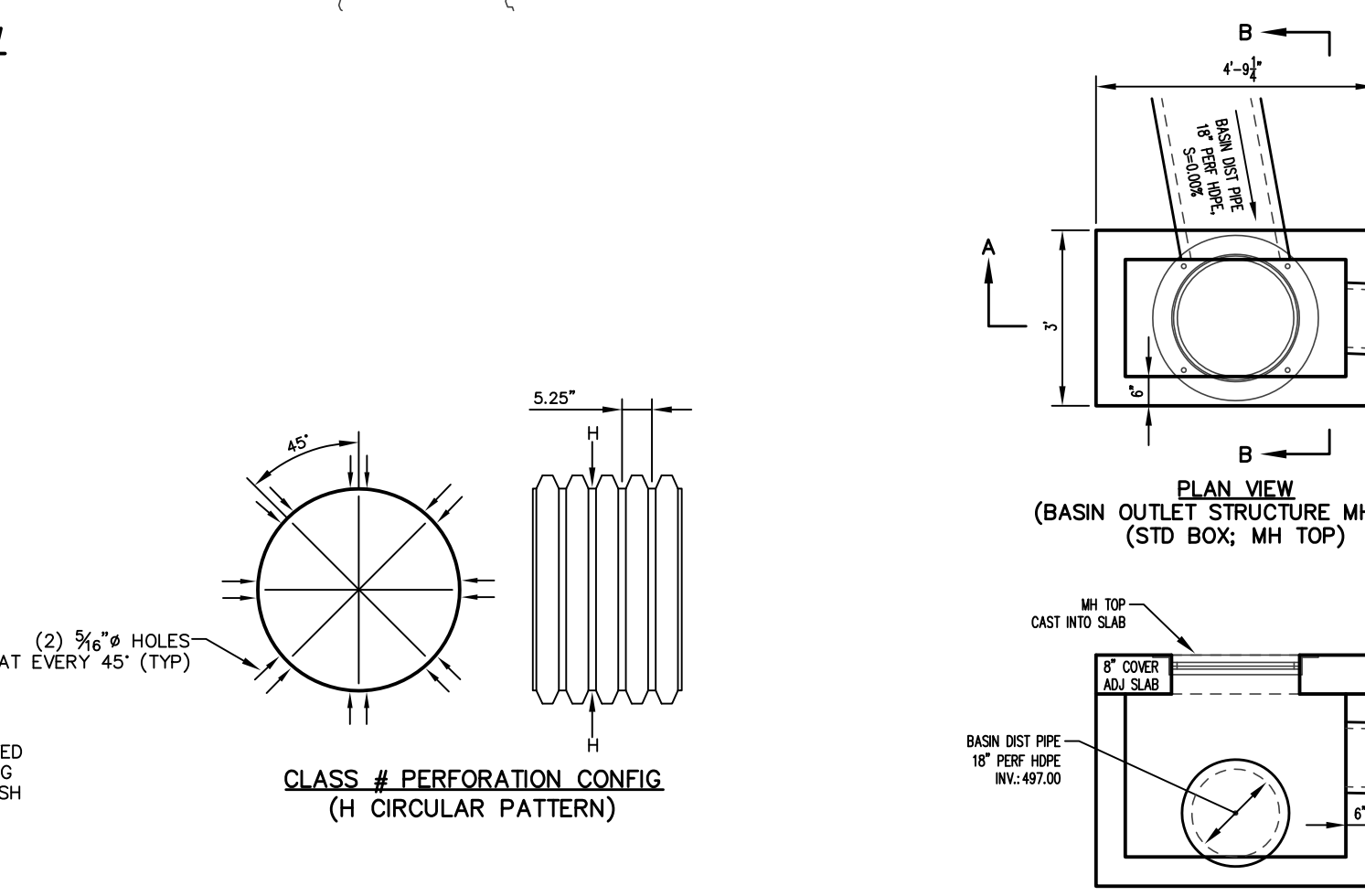
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 Drawing No. 14 of 19  
**C701**



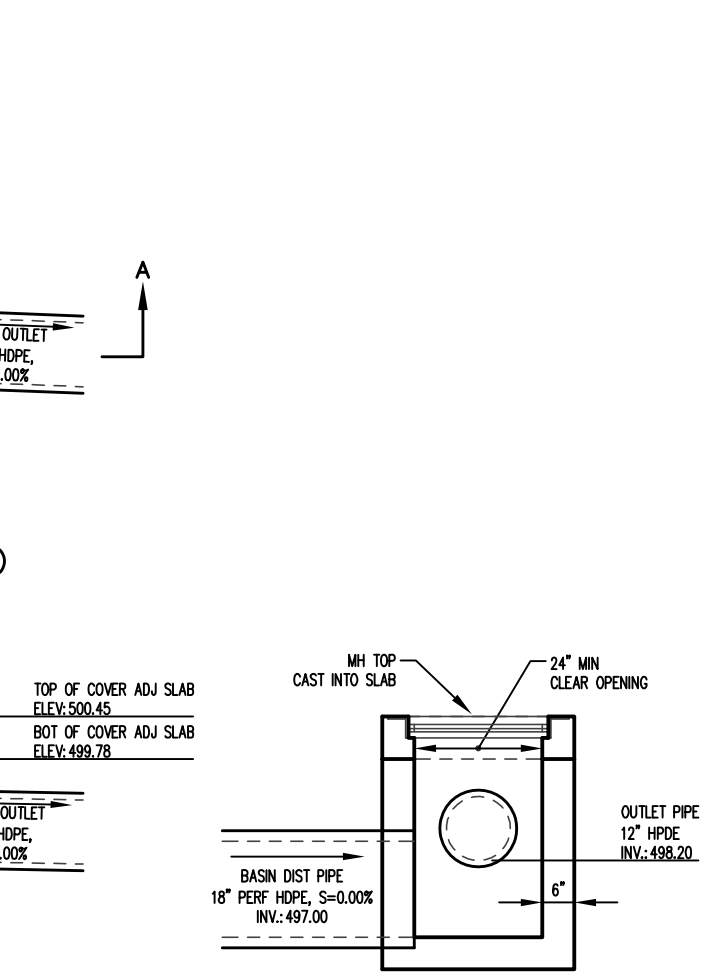
BASIN 1 PLAN VIEW  
N.T.S.



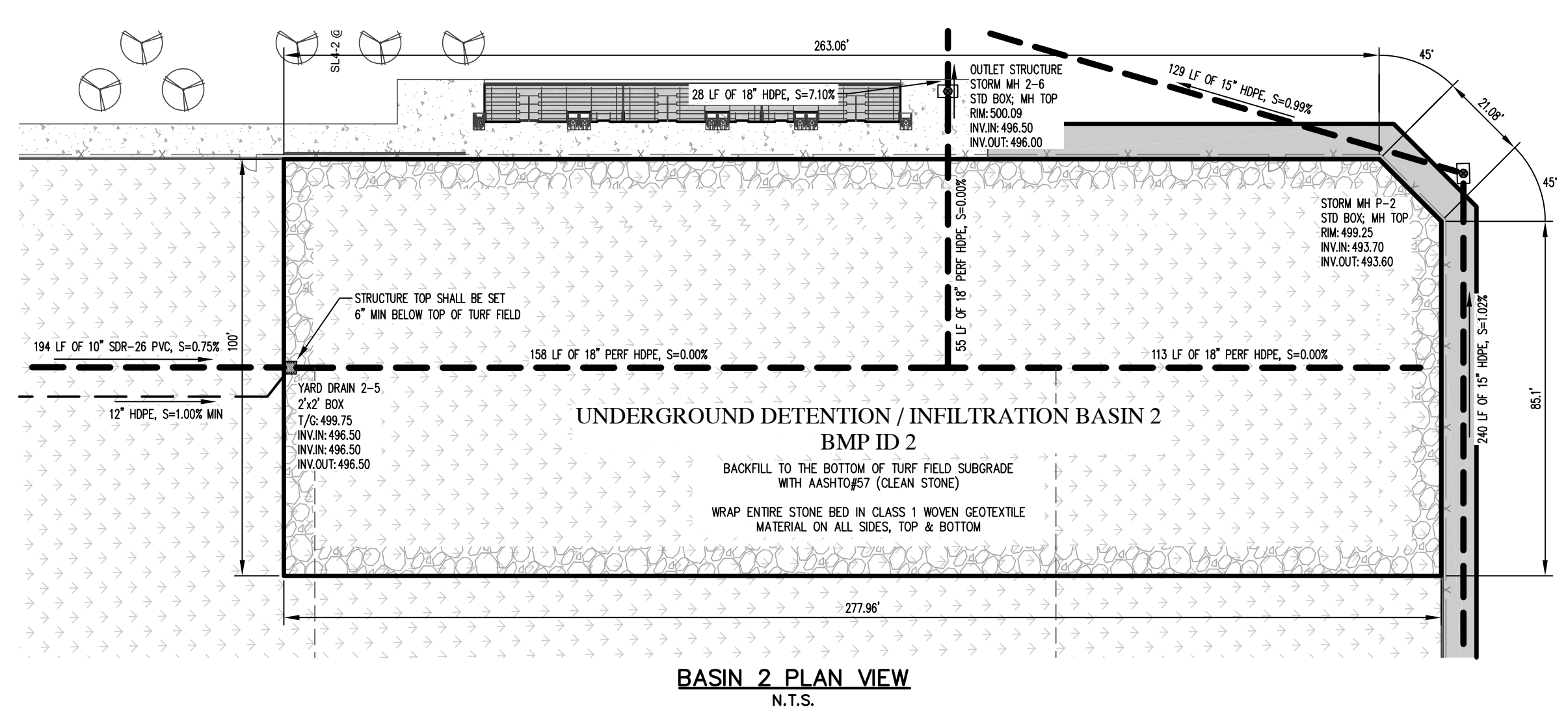
TYPICAL BASIN CROSS-SECTION  
N.T.S.



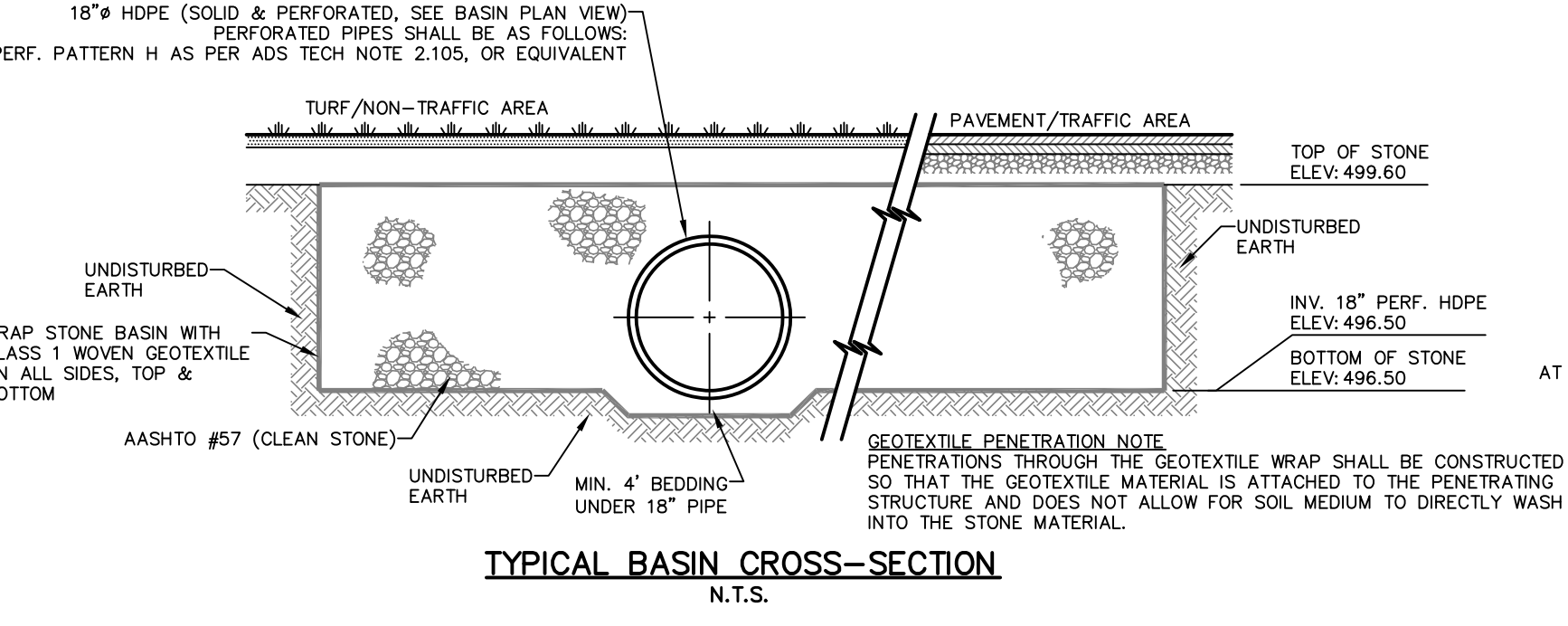
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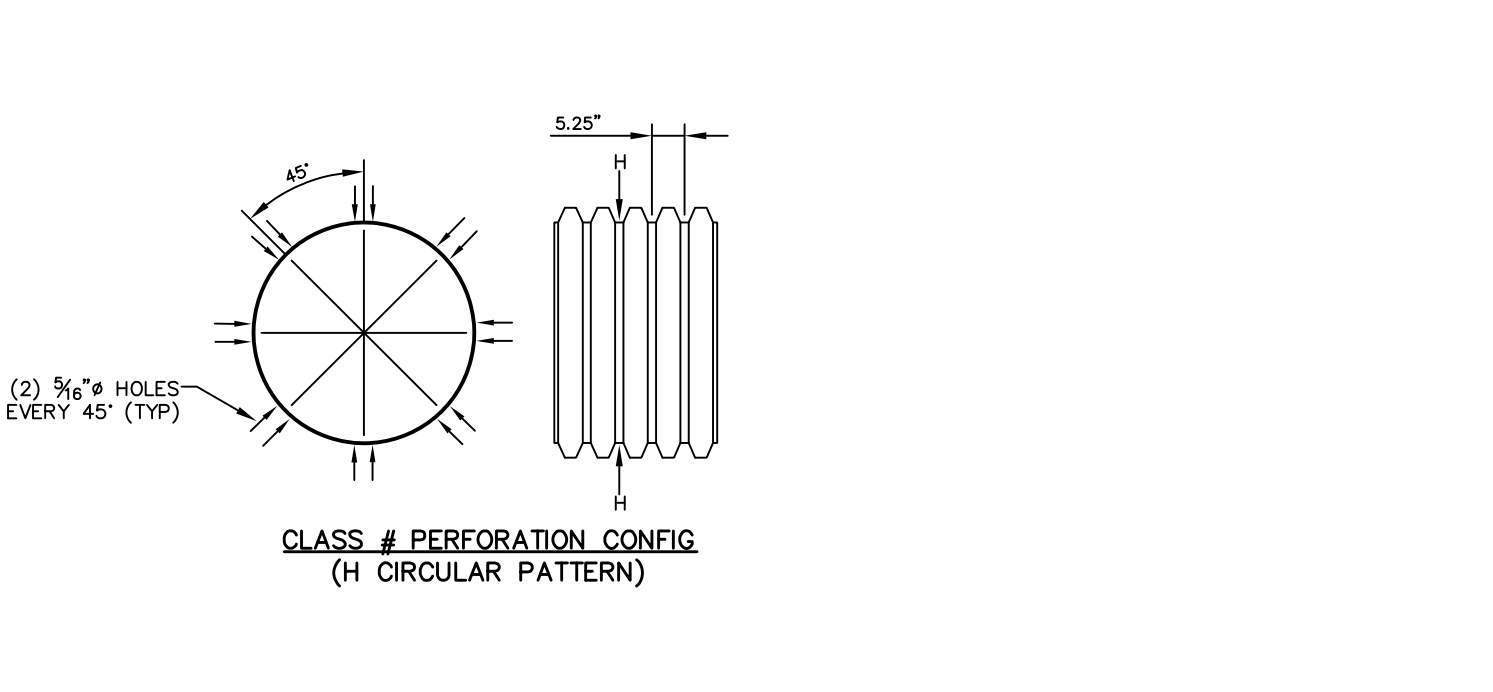
BASIN 1 / BMP ID 1



BASIN 2 PLAN VIEW  
N.T.S.



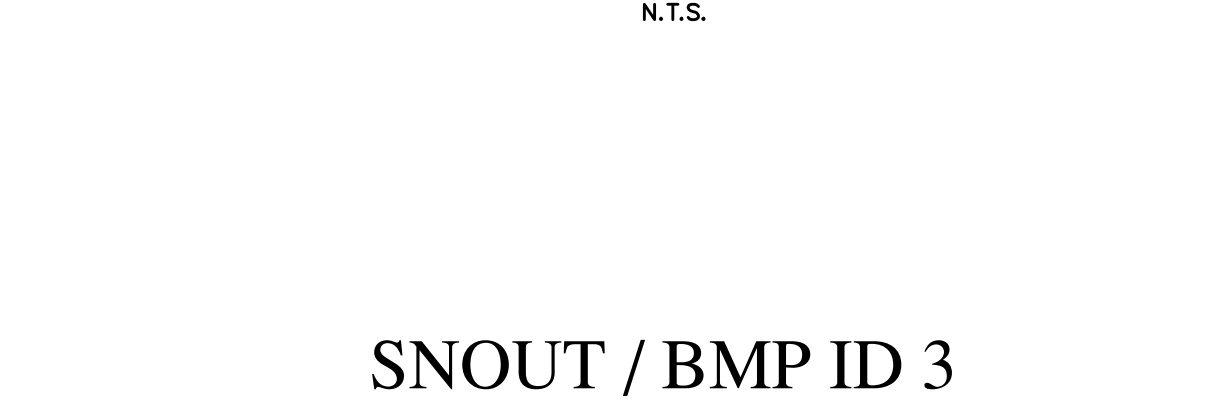
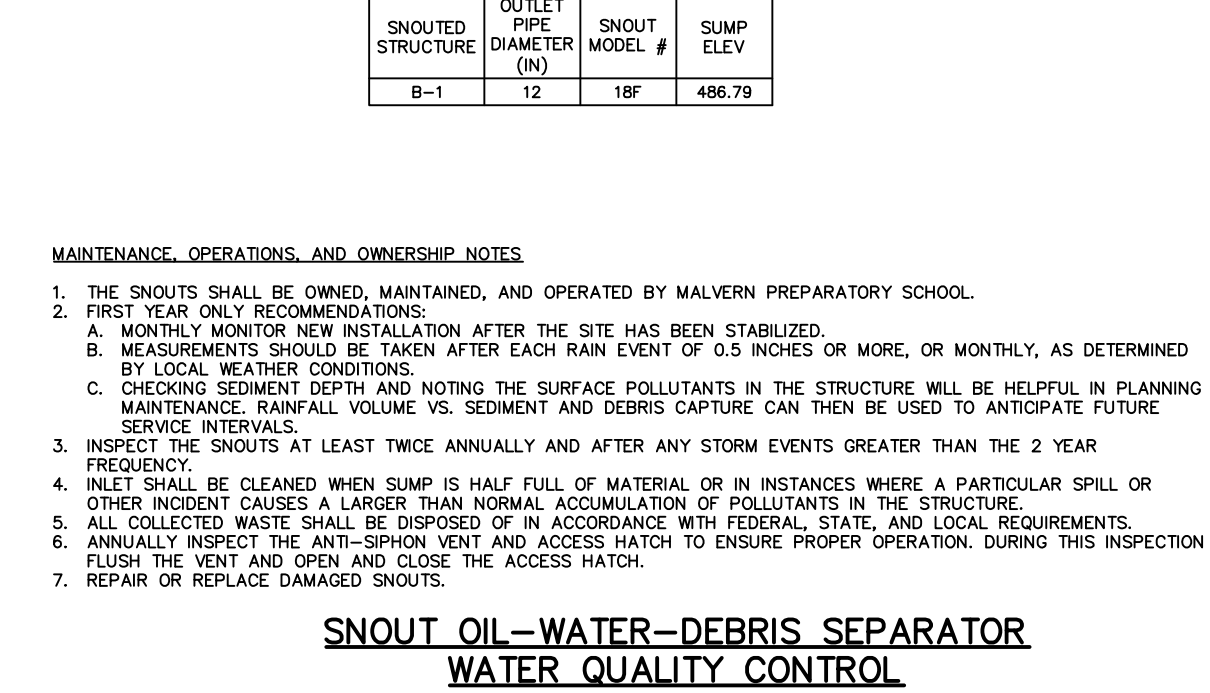
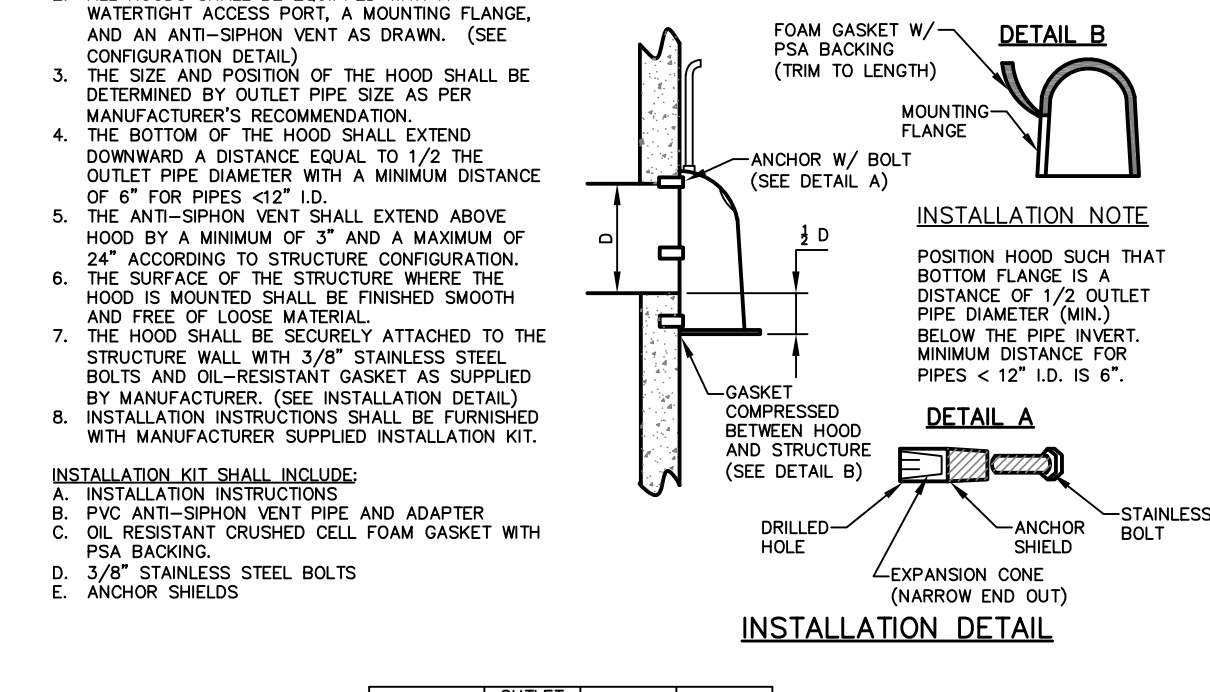
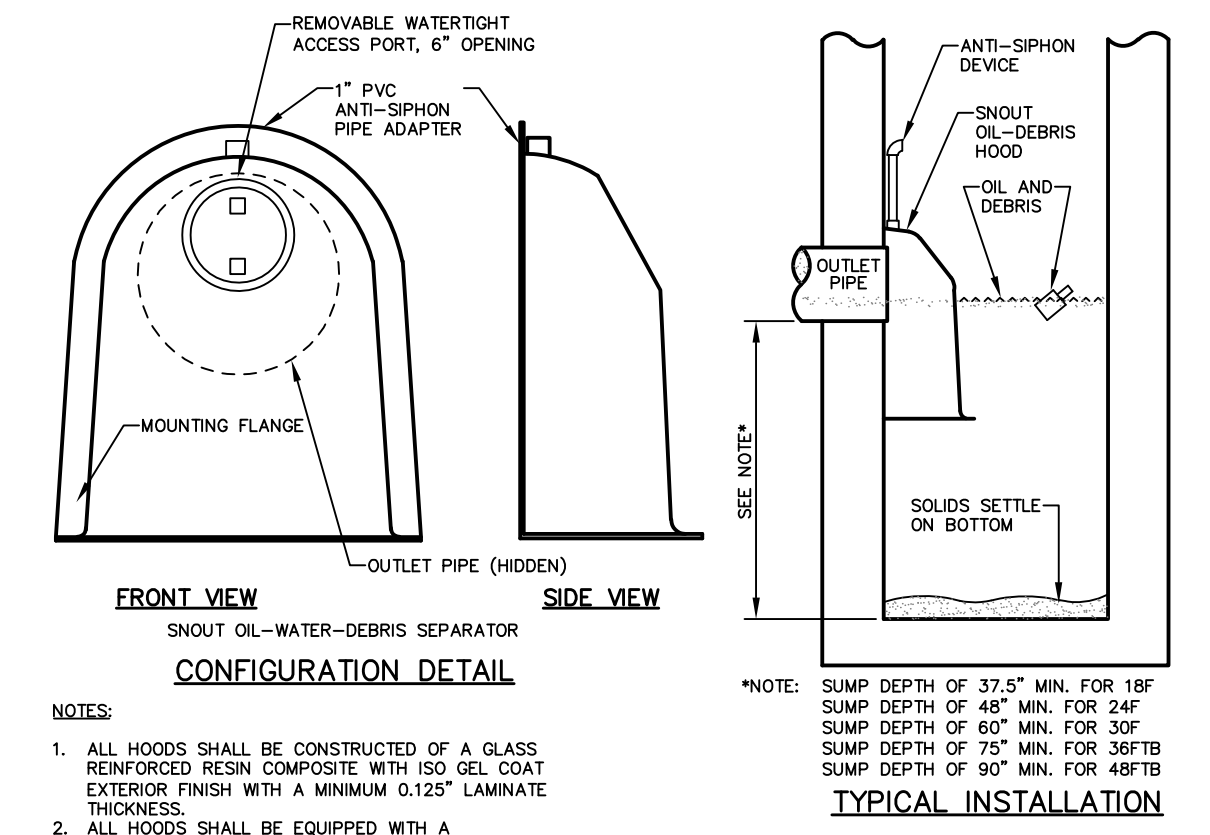
TYPICAL BASIN CROSS-SECTION  
N.T.S.



BASIN 2 / BMP ID 2



BASIN 2 / BMP ID 2



SNOUT / BMP ID 3

**INFILTRATION BASIN OWNERSHIP, OPERATIONS, AND MAINTENANCE PROCEDURES**

- OWNERSHIP, OPERATION, AND MAINTENANCE OF THE UNDERGROUND BASINS 1 (BMP ID 1) AND 2 (BMP ID 2) SHALL BE THE RESPONSIBILITY OF THE MALVERN PREPARATORY SCHOOL. THE CONTRACTOR SHALL PROVIDE A DIVISION BERM AROUND THE EXCAVATED AREAS IN ORDER TO PROTECT THE INFILTRATION AREA FROM SEDIMENTATION.
- THE EXISTING SUBGRADE UNDER THE BED AREAS SHOULD NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE AND STONE BED PLACEMENT.
- WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHOULD BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLIESING SOILS SCARPED TO A MINIMUM DEPTH OF 8 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR. ALL FINE GRADING SHOULD BE DONE BY HAND. ALL BED BOTTOMS SHOULD BE AT LEVEL GRADE.
- EARTHEN BERMS (IF USED) BETWEEN INFILTRATION BEDS SHOULD BE LEFT IN PLACE DURING EXCAVATION. THESE BERMS DO NOT REQUIRE PROTECTION IF FIRM STABLE DURING CONSTRUCTION.
- INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.
- GEOTEXTILE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 18 INCHES. IT SHOULD ALSO BE SECURED AT LEAST 4 FEET OUTSIDE OF BED IN ORDER TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THIS GEOTEXTILE SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO THE EDGE OF THE BED.
- CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE TO BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.
- DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

**UNDERGROUND BASIN CONSTRUCTION SEQUENCE**

- INSTALL AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES (AS PER THE PENNSYLVANIA EROSION AND SEDIMENTATION CONTROL PROGRAM MANUAL) DURING CONSTRUCTION. PLACE A DIVISION BERM AROUND THE EXCAVATED AREAS IN ORDER TO PROTECT THE INFILTRATION AREA FROM SEDIMENTATION.
- THE EXISTING SUBGRADE UNDER THE BED AREAS SHOULD NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE AND STONE BED PLACEMENT.
- WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHOULD BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLIESING SOILS SCARPED TO A MINIMUM DEPTH OF 8 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR. ALL FINE GRADING SHOULD BE DONE BY HAND. ALL BED BOTTOMS SHOULD BE AT LEVEL GRADE.
- EARTHEN BERMS (IF USED) BETWEEN INFILTRATION BEDS SHOULD BE LEFT IN PLACE DURING EXCAVATION. THESE BERMS DO NOT REQUIRE PROTECTION IF FIRM STABLE DURING CONSTRUCTION.
- INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.
- GEOTEXTILE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 18 INCHES. IT SHOULD ALSO BE SECURED AT LEAST 4 FEET OUTSIDE OF BED IN ORDER TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THIS GEOTEXTILE SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO THE EDGE OF THE BED.
- CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE TO BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.
- DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

**CONSTRUCTION SCHEDULE**  
APPROXIMATE STARTING DATE FOR CONSTRUCTION: JULY 2023  
APPROXIMATE ENDING DATE FOR CONSTRUCTION: NOVEMBER 2025

**GENERAL NOTES**

- AT LEAST SEVEN DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE CHESTER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 FOR BURIED UTILITIES LOCATION.
- THE CONTRACTOR MUST NOTIFY BY TELEPHONE THE CHESTER COUNTY CONSERVATION DISTRICT THREE DAYS PRIOR TO COMMENCEMENT OF ANY EARTHMOVING ACTIVITIES.
- THE CUT-OFF DATE FOR SEEDING, INCLUDING HYDRO-SEEDING (EXCEPT PINE GRASS), IS NOVEMBER 15TH. ANY AREAS DISTURBED AFTER THIS DATE, PRIOR TO THE START OF THE GROWING SEASON IN THE SPRING, MUST BE STABILIZED WITH MULCH.
- ALL STRUCTURES ASSOCIATED WITH THE CONSTRUCTION OF SEDIMENT REMOVAL FACILITIES MUST BE AVAILABLE ON-SITE PRIOR TO ANY EARTHMOVING.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE. EACH STAGE SHALL BE COMPLETE BEFORE ANY FOLLOWING STAGES ARE INITIATED. CLEANING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLANS, WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL CONSERVATION DISTRICT.
- REGARDLESS OF THE SPECIFIC SCHEDULE ORDER, AS SOON AS SLOPES, CHANNELS, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED IMMEDIATELY. ADDITIONALLY, IMMEDIATE STABILIZATION IS REQUIRED UPON TEMPORARY CESSATION OF WORK - 4 DAYS OR MORE OR AS SOON AS ANY GRADED AREA REQUIRES FINAL GRADE.

**STAGE 1 - ERS INSTALLATIONS**

- FIELD MARK LIMITS OF DISTURBANCE WITH ORANGE CONSTRUCTION FENCE.
- INSTALL THE ROCK CONSTRUCTION ENTRANCES OFF THE EXISTING DRIVEWAY JUST SOUTH OF THE EXISTING TRUCK EXISTING SIDEWALK WILL NEED TO BE REMOVED TO PLACE THE ROCK CONSTRUCTION ENTRANCE AND SHALL BE RESTORED WHEN THE CONSTRUCTION ENTRANCE IS REMOVED. ALL CONSTRUCTION VEHICLES MUST USE ROCK CONSTRUCTION ENTRANCES TO ENTER AND EXIT THE SITE. CARE MUST BE TAKEN TO ELIMINATE SEDIMENT FROM BEING TRACKED ONTO ANY EXISTING ROADS. THE CONTRACTOR MUST INSPECT AND CLEAN UP DAILY IF THIS OCCURS.
- INSTALL INLET PROTECTION ON THE EXISTING INLET LOCATED JUST SOUTH OF THE ROCK CONSTRUCTION ENTRANCE. INSTALL COMPOST SOCK SEDIMENT TRAPS 1 AND 2. THIS INVOLVES THE INSTALLATION OF COMPOST SOCKS STACKED ON EACH OTHER AS INDICATED.

**STAGE 2 - PROPOSED ATLETHIC FIELD IMPROVEMENTS**

- CLEAR STRIP AND STOCKPILE TOPSOIL AND EXCESS SOIL FROM THE AREAS OF THE PROPOSED SYNTHETIC TURF FIELD LOCATIONS IN EACH FIELD. STOCKPILE TOPSOIL AND EXCESS SOIL FROM THE AREAS OF THE PROPOSED SYNTHETIC TURF FIELD LOCATIONS IN EACH FIELD. STOCKPILE TOPSOIL AND EXCESS SOIL FROM THE AREAS OF THE PROPOSED SYNTHETIC TURF FIELD LOCATIONS IN EACH FIELD. STOCKPILE TOPSOIL AND EXCESS SOIL FROM THE AREAS OF THE PROPOSED SYNTHETIC TURF FIELD LOCATIONS IN EACH FIELD.
- INSTALL THE ROCK CONSTRUCTION ENTRANCES OFF THE EXISTING DRIVEWAY JUST SOUTH OF THE EXISTING TRUCK EXISTING SIDEWALK WILL NEED TO BE REMOVED TO PLACE THE ROCK CONSTRUCTION ENTRANCE AND SHALL BE RESTORED WHEN THE CONSTRUCTION ENTRANCE IS REMOVED. ALL CONSTRUCTION VEHICLES MUST USE ROCK CONSTRUCTION ENTRANCES TO ENTER AND EXIT THE SITE. CARE MUST BE TAKEN TO ELIMINATE SEDIMENT FROM BEING TRACKED ONTO ANY EXISTING ROADS. THE CONTRACTOR MUST INSPECT AND CLEAN UP DAILY IF THIS OCCURS.
- INSTALL INLET PROTECTION ON THE EXISTING INLET LOCATED JUST SOUTH OF THE ROCK CONSTRUCTION ENTRANCE. INSTALL COMPOST SOCK SEDIMENT TRAPS 1 AND 2. THIS INVOLVES THE INSTALLATION OF COMPOST SOCKS STACKED ON EACH OTHER AS INDICATED.

**STAGE 3 - REMAINING IMPROVEMENTS**

- CLEAR STRIP AND STOCKPILE TOPSOIL AND EXCESS SOIL FROM THE REMAINING PROPOSED IMPROVEMENTS. STOCKPILE TOPSOIL AND EXCESS SOIL MATERIAL AT THE STOCKPILE AREAS INDICATED. BEGAIN ROUGH GRADING OF THE REMAINDER OF THE SITE.
- INSTALL INLET PROTECTION ON THE TWO EXISTING INLETS IN THE PROPOSED PARKING AREA. ROUGH GRADE THE AREA OF THE PROPOSED PARKING LOT. INSTALL INLET B-1 TO MH B-2 AND IMMEDIATELY INSTALL INLET PROTECTION. PLEASE NOTE THAT THE SNOUT INSTALLATION IN INLET B-1 IS A CRITICAL STAGE THAT REQUIRES INSPECTION BY A PENNSYLVANIA LICENSED PROFESSIONAL OR THEIR DESIGNEE.
- CONSTRUCT THE PARKING AREA WITH STONE AND ASPHALT. INSTALL THE PROPOSED WALKWAYS AS INDICATED. IMMEDIATELY STABILIZE ALL NON PAVED AREAS WITH SEEDING AS SOON AS THOSE AREAS REACH FINAL GRADE.

**STAGE 4 - REMOVAL OF THE SOIL EROSION CONTROL**

- REMOVE THE SOIL EROSION CONTROL STRUCTURES. THE CONTRACTOR IS REQUIRED TO REMOVE ALL REMAINING ROCK CONSTRUCTION ENTRANCES, INLET PROTECTION, AND COMPOST SOCKS. NOTE THAT REMOVAL OF ERS BERM MAY OCCUR AT ANY TIME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ERS BERM. RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE ERS CONTROL.

**NOTE:**

- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT PERMANENT VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

**RECYCLING AND DISPOSAL OF POST-CONSTRUCTION WASTES**

- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE PROPER MEASURES FOR RECYCLING OR DISPOSAL OF WASTES ARE TAKEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF WASTES. WASTES ARE ANTICIPATED TO CONSIST OF PACKAGING MATERIALS, DEBRIS, GRASS CLIPPINGS, AND LITTER. SOLID WASTE SITES MUST BE APPROVED BY THE LOCAL CONSERVATION DISTRICT.
- ALL POST-CONSTRUCTION WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ. 271.1, AND 281.7 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

**CLEAN FILL/ENVIRONMENTAL DUE DILIGENCE NOTES**

OPERATORS MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. DEFINITIONS OF CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE ARE PROVIDED BELOW. ALL FILL MATERIAL MUST BE IN ACCORDANCE WITH THE PA DEP POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 258-2182-773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT [WWW.DEP.PA.GOV/STATE/PAGE.UNDER%20HEADING%20ACCESS%20TO%20THE%20LEFT%20SIDE%20OF%20THE%20SCREEN,%20CLICK%20ON%20FORMS%20AND%20PUBLICATIONS%20ON%20THE%20LEFT%20SIDE%20OF%20THE%20SCREEN.%20CLICK%20ON%20TECHNICAL%20DOCUMENTS%20FINAL%20THEN%20TYPE%20THE%20DOCUMENT%20NUMBER%20258-2182-773%20INTO%20THE%20SEARCH%20WINDOW%20AND%20CONDUCT%20THE%20SEARCH%20ON%20MANAGEMENT%20OF%20FILL](http://WWW.DEP.PA.GOV/STATE/PAGE.UNDER%20HEADING%20ACCESS%20TO%20THE%20LEFT%20SIDE%20OF%20THE%20SCREEN,%20CLICK%20ON%20FORMS%20AND%20PUBLICATIONS%20ON%20THE%20LEFT%20SIDE%20OF%20THE%20SCREEN.%20CLICK%20ON%20TECHNICAL%20DOCUMENTS%20FINAL%20THEN%20TYPE%20THE%20DOCUMENT%20NUMBER%20258-2182-773%20INTO%20THE%20SEARCH%20WINDOW%20AND%20CONDUCT%20THE%20SEARCH%20ON%20MANAGEMENT%20OF%20FILL)

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND RELATED ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE, AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL, PROXY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL FIELD SURVEYS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MAY BE TESTED TO DETERMINE IF IT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MAY BE TESTED TO DETERMINE IF IT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MAY BE TESTED TO DETERMINE IF IT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE.

Revisions		
No.	Date	Description
1	03/13/23	CCCD COMMENTS
2	04/27/23	BOROUGH COMMENTS

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**PRELIMINARY/FINAL**  
MALVERN PREPARATORY SCHOOL  
MALVERN  
PRELIMINARY/FINAL  
ATHLETIC FACILITY IMPROVEMENTS  
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS/ O&M DETAILS

**D'HUY Engineering, Inc.**  
Project Management | Facilities Engineering  
Structural Design & Analysis | Forensic Engineering  
CONSULTING ENGINEERS

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**COMMONWEALTH OF PENNSYLVANIA**  
Professional Engineer  
JUSTIN QUINTUS MASSIE  
No. 12485

Drawn: GAS Appd.: JQM  
Date: 02/07/2023  
Scale: AS NOTED  
Job No. 848001  
Drawing No. C702

Revisions		
No.	Date	Description
1	04/27/23	BOROUGH COMMENTS

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MALVERN PREPARATORY SCHOOL  
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PRELIMINARY / FINAL  
ATHLETIC FACILITY IMPROVEMENTS  
SITE CONSTRUCTION DETAILS

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**COMMONWEALTH**  
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JUSTIN QUINTUS MASSIE

Drawn: GAS Appd.: JQM  
Date: 02/07/2023  
Scale: AS NOTED  
Job No. 848001  
Drawing No. 16 of 19  
**C801**

**8" POROUS AGGREGATE BASE UNDER SYNTHETIC TURF**  
LASER GRADE TO A TOLERANCE OF 1/4" IN 10' AND COMPACT TO 95% MAXIMUM DENSITY.  
PERCOLATION RATE TO BE +20" PER HOUR.

\*\*\* SCHEDULED AGGREGATE BASE TO BE APPROVED BY THE TURF MANUFACTURER. THE CONTRACTOR TO BUILD A TEST PAD OF THE POROUS AGGREGATE BASE AS IT IS TO BE CONSTRUCTED. THIS TEST PAD IS TO BE INSPECTED & TESTED BY AN APPROVED GEOTECHNICAL ENGINEER FOR COMPACTION & PERCOLATION UNDER OBSERVATION BY THE TURF MANUFACTURER, THE OWNER, & THE OWNER'S REPRESENTATIVE ENGINEER. ACTUAL POROUS AGGREGATE BASE UNDER SYNTHETIC TURF TO BE CONSTRUCTED PER RECOMMENDATIONS OF TURF MANUFACTURER AFTER TESTING BY THE GEOTECHNICAL ENGINEER AND APPROVAL BY THE TURF MANUFACTURER, THE OWNER & THE OWNER'S REPRESENTATIVE ENGINEER.

\*\*\* MINIMUM STANDARD FOR 8" POROUS AGGREGATE BASE UNDER SYNTHETIC TURF: LASER GRADE TO A TOLERANCE OF 1/4" IN 10' AND COMPACT TO 95% MAXIMUM DENSITY. MINIMUM PERCOLATION RATE 20" PER HOUR.

6" COURSE AGGREGATE BASE MATERIAL: 2" FINE AGGREGATE FINISHING MATERIAL: WASHED SAND - SCREENING.

PERCENT PASSING		PERCENT PASSING	
1-1/2" SIEVE	100%	3/8" SIEVE	100.0%
1" SIEVE	99-100%	#8 SIEVE	100.0%
3/4" SIEVE	80-100%	#16 SIEVE	75.0%
1/2" SIEVE	60-80%	#30 SIEVE	45.0%
3/8" SIEVE	30-50%	#60 SIEVE	25.0%
#4 SIEVE	20-40%	#100 SIEVE	5.0%
#8 SIEVE	10-30%	#200 SIEVE	5.0%
#16 SIEVE	7-25%	#400 SIEVE	2.0%
#30 SIEVE	5-15%		
#60 SIEVE	0-12%		

NEW SYNTHETIC TURF SYSTEM:  
2" RILEY HT. W/ 1-1/2" RUBBER SAND FILL  
5/8" THICK PAD UNDER SYNTHETIC TURF  
\*\*\* 1/2" FINE POROUS AGGREGATE BASE UNDER SYNTHETIC TURF. LASER GRADE TO A TOLERANCE OF 1/4" IN 10' AND COMPACTED TO 95% MAXIMUM DENSITY.  
\*\*\* 8" POROUS AGGREGATE BASE UNDER SYNTHETIC TURF. LASER GRADE TO A TOLERANCE OF 1/4" IN 10' AND COMPACTED TO 95% MAXIMUM DENSITY.

STRIP TOPSOIL AND COMPACT SUBGRADE TO 95% MAX. DENSITY. SUBGRADE TO SLOPE 0.4% TO PERIMETER PIPE SYSTEM. PROTECT SUBGRADE WITH GEOTECHNICAL ENGINEER & OWNER'S REPRESENTATIVE ENGINEER OBSERVING. REMOVE AND REPLACE ANY UNSUITABLE SOILS. FINAL GRADE SUBGRADE W/ LASER CONTROLLED EQUIPMENT.

**SYNTHETIC TURF FIELD**  
N.T.S.

**CHAIN LINK FENCE**  
N.T.S.

NOTES:  
1. ALL METAL SHALL BE GALVANIZED AND BLACK VINYL COATED.  
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
3. PROVIDE ALL FENCE TIES, RINGS, AND CLIPS AS RECOMMENDED BY FENCE MANUFACTURER.  
4. COORDINATE POST LOCATIONS WITH UTILITIES PRIOR TO INSTALLATION.

**ASPHALT WALKWAY SECTION**  
N.T.S.

NOTES:  
1. PROVIDE CLEAN RINDOUT 28 STONE TO THE INFILTRATION/RETENTION BASIN FROM SUBGRADE OF THE WALKWAY/HARD PLAY AREAS.  
2. THE CONTRACTOR SHALL COORDINATE PLAYGROUND EQUIPMENT INSTALLATION WITH THE OWNER. PLAYGROUND EQUIPMENT IS TO BE PURCHASED AND INSTALLED BY THE OWNER.  
3. ALL PAVING IS TO BE CONSTRUCTED IN ACCORDANCE WITH PENN DOT PUBLICATION 408, CURRENT EDITION.  
4. COMPACTION REQUIREMENT OF 95% DRY WEIGHT DENSITY FOR THE STONE COURSE.  
5. PAVEMENT AND STONE DEPTHS SHOWN SHALL REFLECT MINIMUM THICKNESS AFTER COMPACTION.

**CHAIN LINK FENCE GATE**  
N.T.S.

NOTES:  
1. ALL METAL SHALL BE GALVANIZED AND BLACK VINYL COATED.  
2. INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
3. PROVIDE ALL FENCE TIES, RINGS, AND CLIPS AS RECOMMENDED BY FENCE MANUFACTURER.  
4. COORDINATE POST LOCATIONS WITH UTILITIES PRIOR TO INSTALLATION.

**TYPICAL FULL-DEPTH PAVING SECTION**  
N.T.S.

NOTES:  
1. ALL PAVING IS TO BE CONSTRUCTED IN ACCORDANCE WITH PENN DOT PUBLICATION 408, CURRENT EDITION.  
2. COMPACTION REQUIREMENT OF 95% DRY WEIGHT DENSITY FOR THE STONE COURSE.  
3. PAVEMENT AND STONE DEPTHS SHOWN SHALL REFLECT MINIMUM THICKNESS AFTER COMPACTION.

**TYPICAL SIDEWALK SECTIONS**  
N.T.S.

NOTES:  
1. REFER TO THE PROJECT SPECIFICATIONS FOR THE SIDEWALK MATERIALS AND CONSTRUCTION.  
2. SLOPE OR GRADE FROM THE PROPERTY LINE TO THE CURB SHALL NOT BE LESS THAN 1/4" INCH TO THE FOOT AND NOT MORE THAN 1/2" INCH TO THE FOOT.  
3. BED FOR CONCRETE SIDEWALKS SHALL BE THOROUGHLY COMPACTED BY TAMPING. CUT JOINTS SHALL BE MADE EVERY 5 FEET (UNLESS NOTED OTHERWISE ON THE PLANS) AND A SPACE OF 1/4" INCH TO 1/2" INCH LEFT BETWEEN BLOCKS AT EVERY SIXTH JOINT AND FILLED WITH PREPARED JOINT FILLER. AT EACH CUT JOINT, AT LEAST ONE HALF OF THE FABRIC WIRE SHALL BE CUT.  
4. LIMITS OF SIDEWALK RECONSTRUCTION SHOWN ON PLANS IS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE TO EXTEND RECONSTRUCTION TO THE NEAREST EXISTING JOINT, MATCH EXISTING SIDEWALK SCORING PATTERN.

PERCENT SLOPE	EQUIVALENT SLOPE
10.00%	10:1
8.33%	12:1
7.14%	14:1
5.00%	20:1
3.00%	33:1
1.00%	100:1

① SIDE FLARES 10.00% MAX SLOPE  
② IF THE TURNING SPACE IS INDICATED TO BE LESS THAN 4'-0", CONSTRUCT SIDE FLARES 8.33% MAX SLOPE.  
③ CURB RAMPS REQUIRE A TURNING SPACE WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.

**TYPE 1 CURB RAMP**

**TYPE 1 CURB RAMP ELEVATION**

NOTES:  
1. 8.33% MAX RAMP SLOPE. SEE NOTE 8 SHEET 1  
2. SLOPE: ZERO ±2.00%  
3. CURB RAMPS REQUIRE A TURNING SPACE WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.

**TYPE 2 CURB RAMP ELEVATION**

NOTES:  
1. 8.33% MAX RAMP SLOPE. SEE NOTE 8 SHEET 1  
2. SLOPE: ZERO ±2.00%  
3. CURB RAMPS REQUIRE A TURNING SPACE WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.

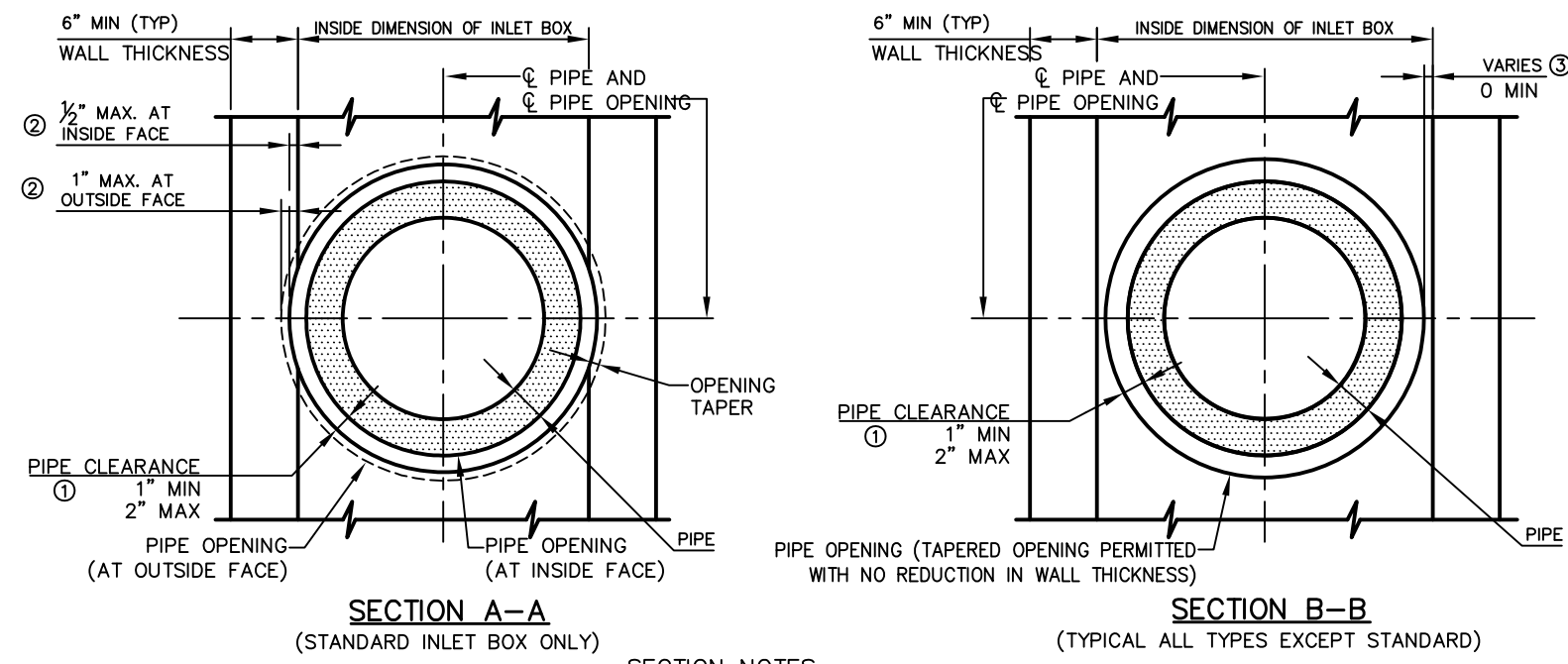
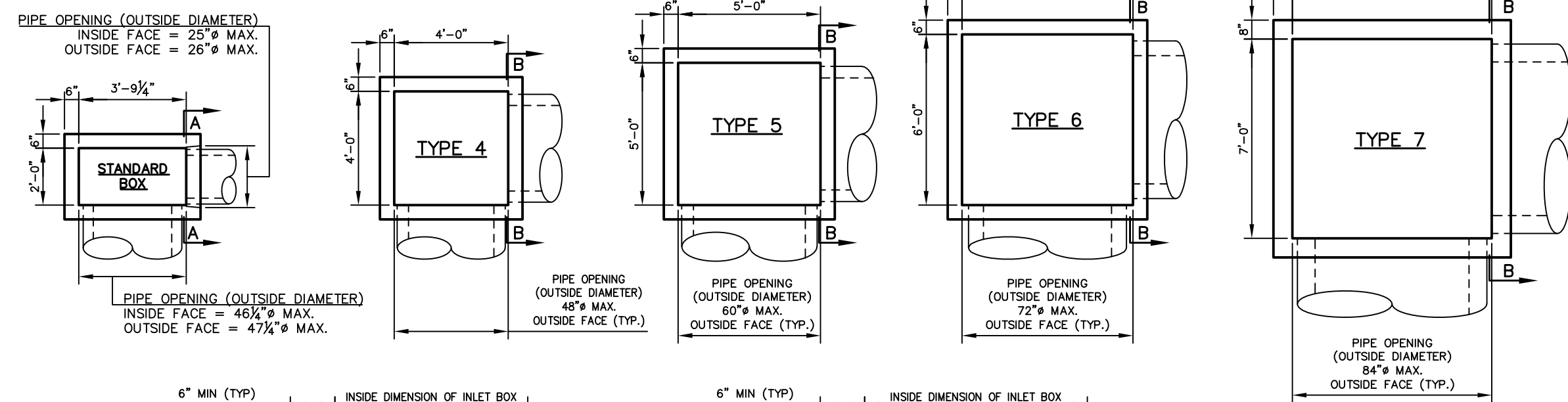
**TYPE 2 CURB RAMP**

**PARKING SPACE LAYOUT**  
N.T.S.

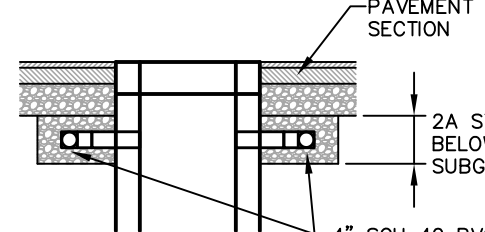
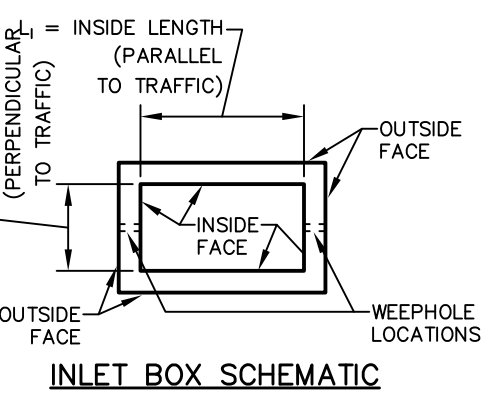
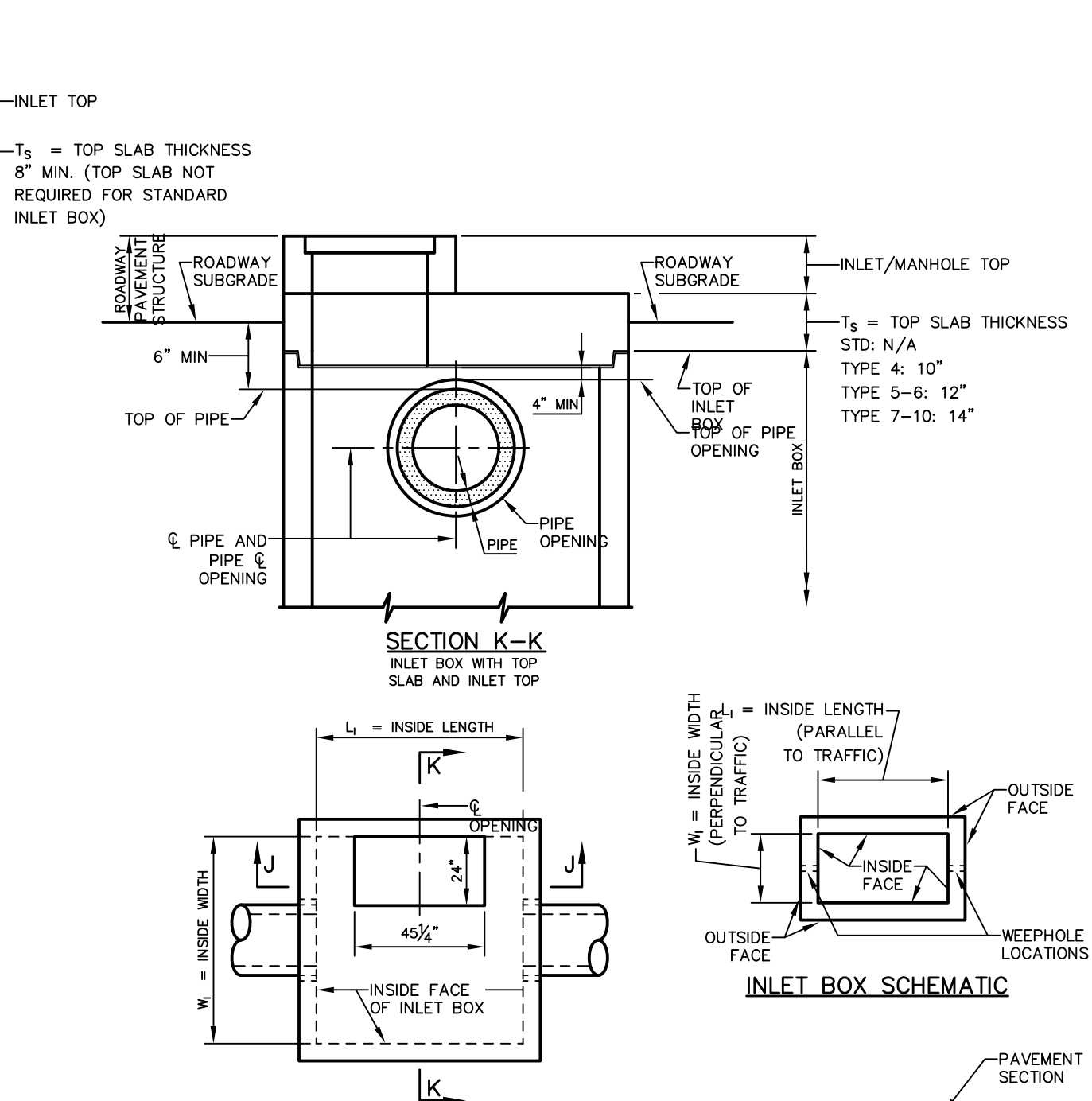
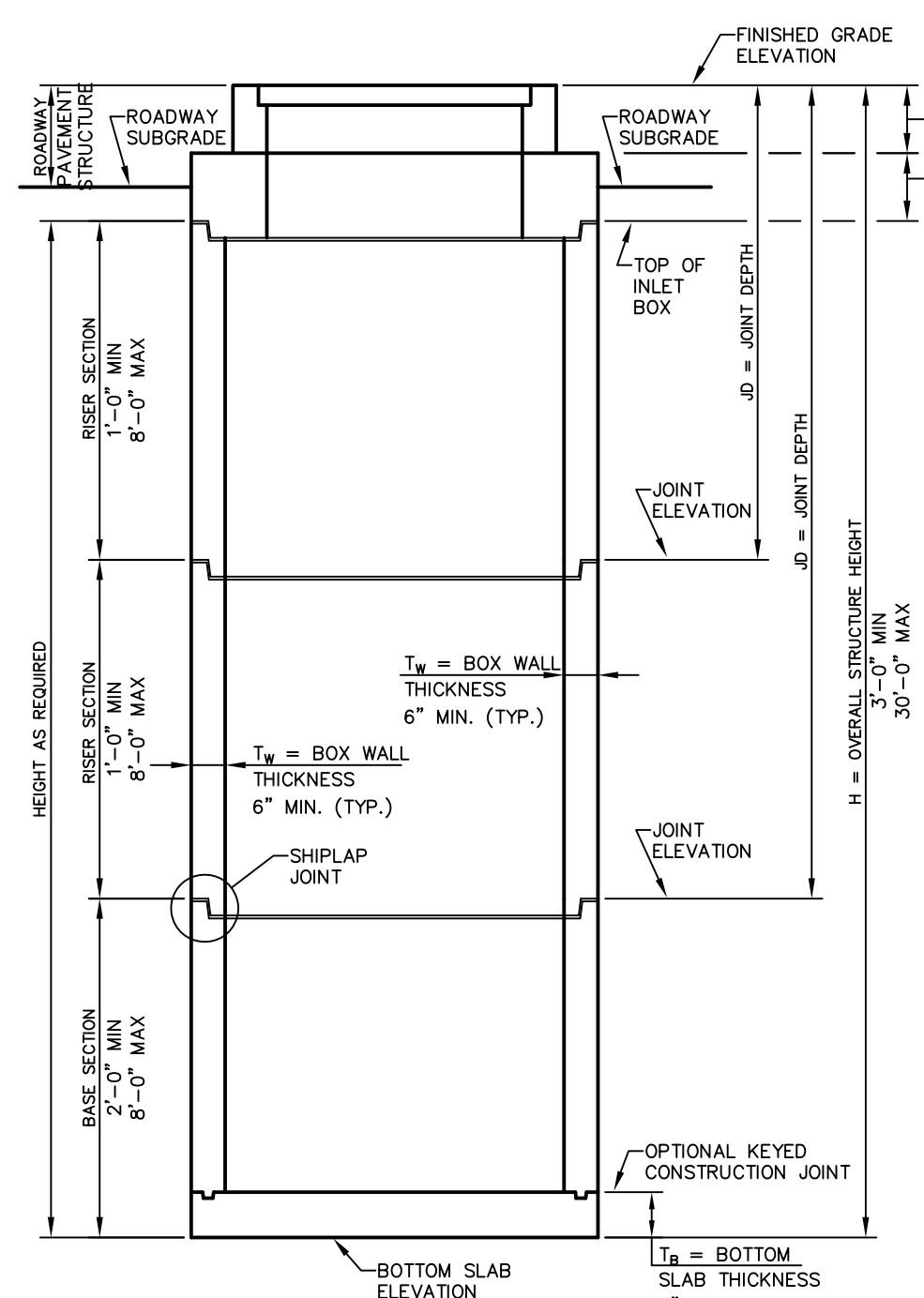
NOTES:  
1. SEE SITE LAYOUT PLANS FOR ACCESSIBLE SPACE LOCATIONS AND DIMENSIONS.  
2. PAINTED ISLANDS SHALL BE 8'-0" MIN. FOR VAN ACCESSIBLE SPACES. REFER TO PLANS FOR LAYOUT DIMENSIONS.  
3. APPLY TWO COATS OF PAINT ON ALL SURFACES.  
4. SLOPES FOR ACCESSIBLE SPACES SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

**PARKING SPACE LAYOUT**  
N.T.S.

E:\projects\2023\malvern-preparatory\_school\Site\23-023-malvern.dwg, May 01, 2023, 3:10pm

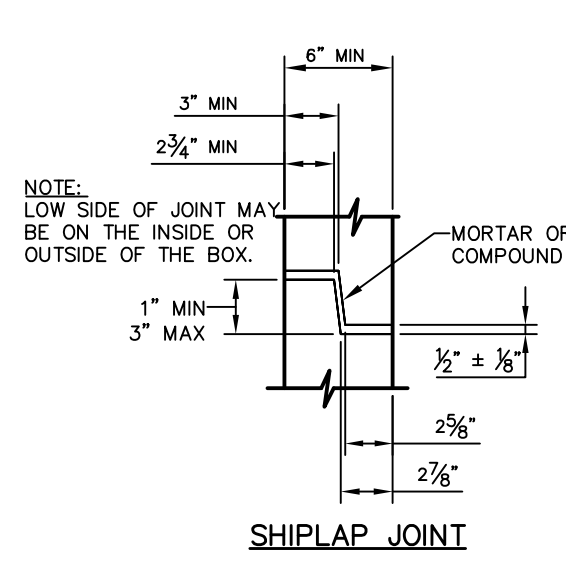


**SECTION NOTES**  
 ① OUTSIDE DIAMETER OF PIPE TO PIPE OPENING  
 ② REDUCTION IN WALL THICKNESS DIMENSION  
 ③ INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

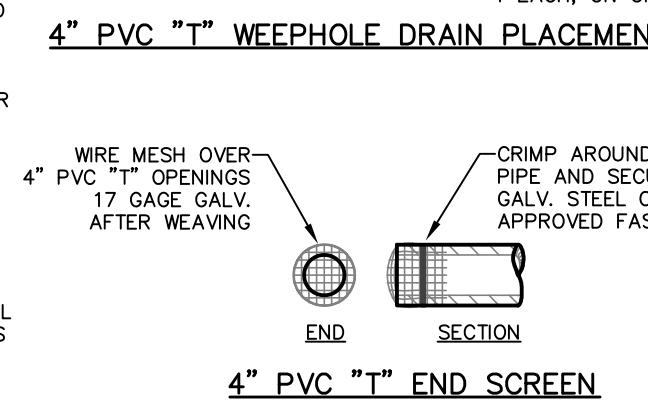


**FIELD CONSTRUCTION NOTES:**

- LOCATE PIPE OR PIPES AS INDICATED OR DIRECTED.
- CONNECT PIPES TO INLET BOXES WITH MORTAR OR WATERTIGHT RUBBER FLEXIBLE CONNECTORS.
- CONSTRUCT OR PLACE INLET BOXES LEVEL, UNLESS OTHERWISE INDICATED OR DIRECTED.
- PROVIDE MANHOLE STEPS WHEN THE DEPTH BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF BOTTOM SLAB ELEVATION IS GREATER THAN 4'-0". SHALLOW RECESSES ON THE INSIDE FACE OF THE INLET NOT GREATER THAN 3" IN DEPTH, FORMED BY MAGNETIC STEP FORMERS ARE ACCEPTABLE AND DO NOT REQUIRE PATCHING.
- CONSTRUCT OR PLACE INLET BOXES ON A SUBBASE CONSTRUCTED OF COMPACTED NO. 2A COARSE AGGREGATE. PLACE AND COMPACT IN 4" LAYERS TO PROVIDE A 1'-0" MINIMUM DEPTH.
- FORM BOTTOM OF INLET, USING CLASS A CEMENT CONCRETE, TO CHANNEL THE FLOW TOWARD THE OUTLET PIPE. PROVIDE #4 REINFORCEMENT BARS SPACED AT 12" CENTER TO CENTER MAXIMUM WHEN THE THICKNESS EXCEEDS 3".
- PROVIDE TWO (2) 4" PERFORATED PVC "T" WEEPHOLE DRAINS IN THE WALLS OF INLETS THAT ARE WITHIN PAVED AREAS.
  - VERTICAL PLACEMENT: 12" BELOW PAVEMENT SUBGRADE
  - HORIZONTAL PLACEMENT: PLACE WEEPHOLE "T" DRAINS IN SIDE WALLS THAT ARE PERPENDICULAR TO TRAFFIC.
  - LOCATE WEEPHOLES A MINIMUM OF 6" FROM PIPE OPENINGS OR JOINTS.
  - LOCATE WEEPHOLES A MINIMUM OF 1'-0" ABOVE OUTLET PIPE INVERT.
- THE BACKFILL AROUND THE WEEPHOLE "T" DRAIN SHALL NOT BE SCREENED. PLACE CLEAN STONE WITHOUT SCREENING THE VOIDS TO ALLOW WATER TO ENTER THE WEEPHOLE "T" DRAINS.



**INLET BOXES**  
N.T.S.

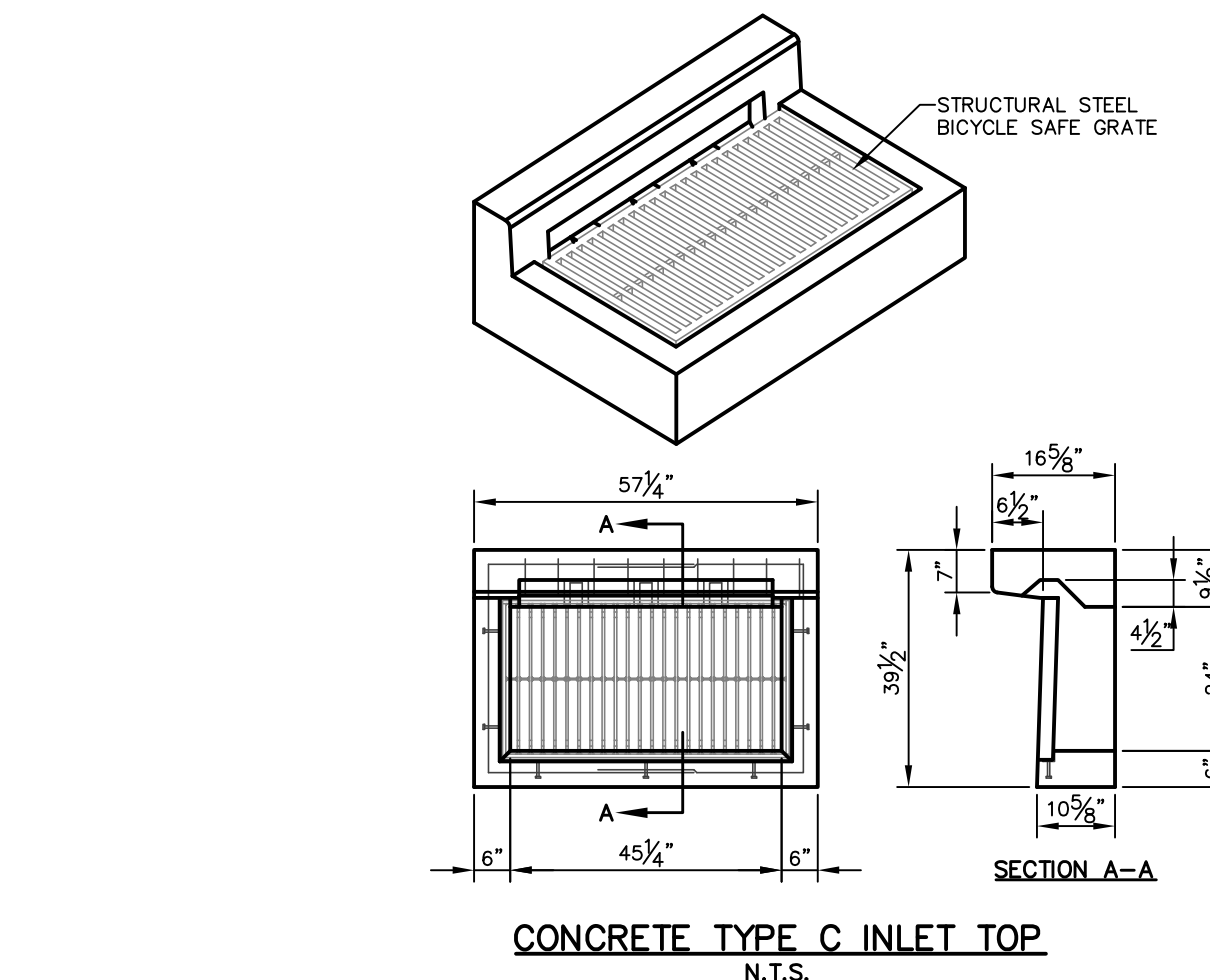


**4\" PVC \"T\" WEEPHOLE DRAIN PLACEMENT**  
N.T.S.

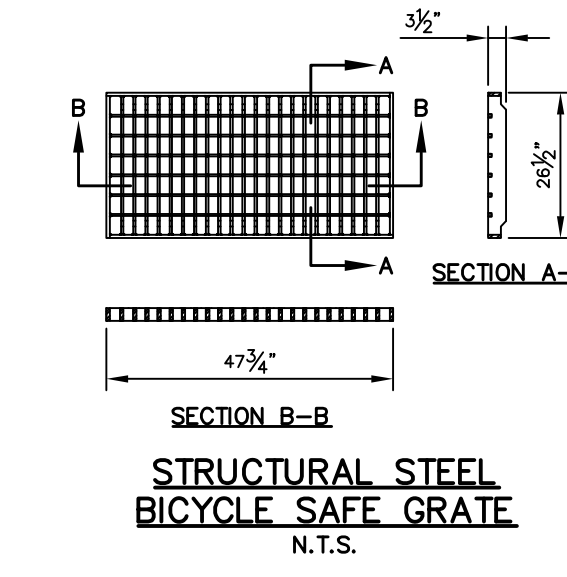


**4\" PVC \"T\" END SCREEN**  
N.T.S.

**SECTION J-J**  
SAME SIZE INLET BOX FULL HEIGHT WITH TOP SLAB AND INLET TOP



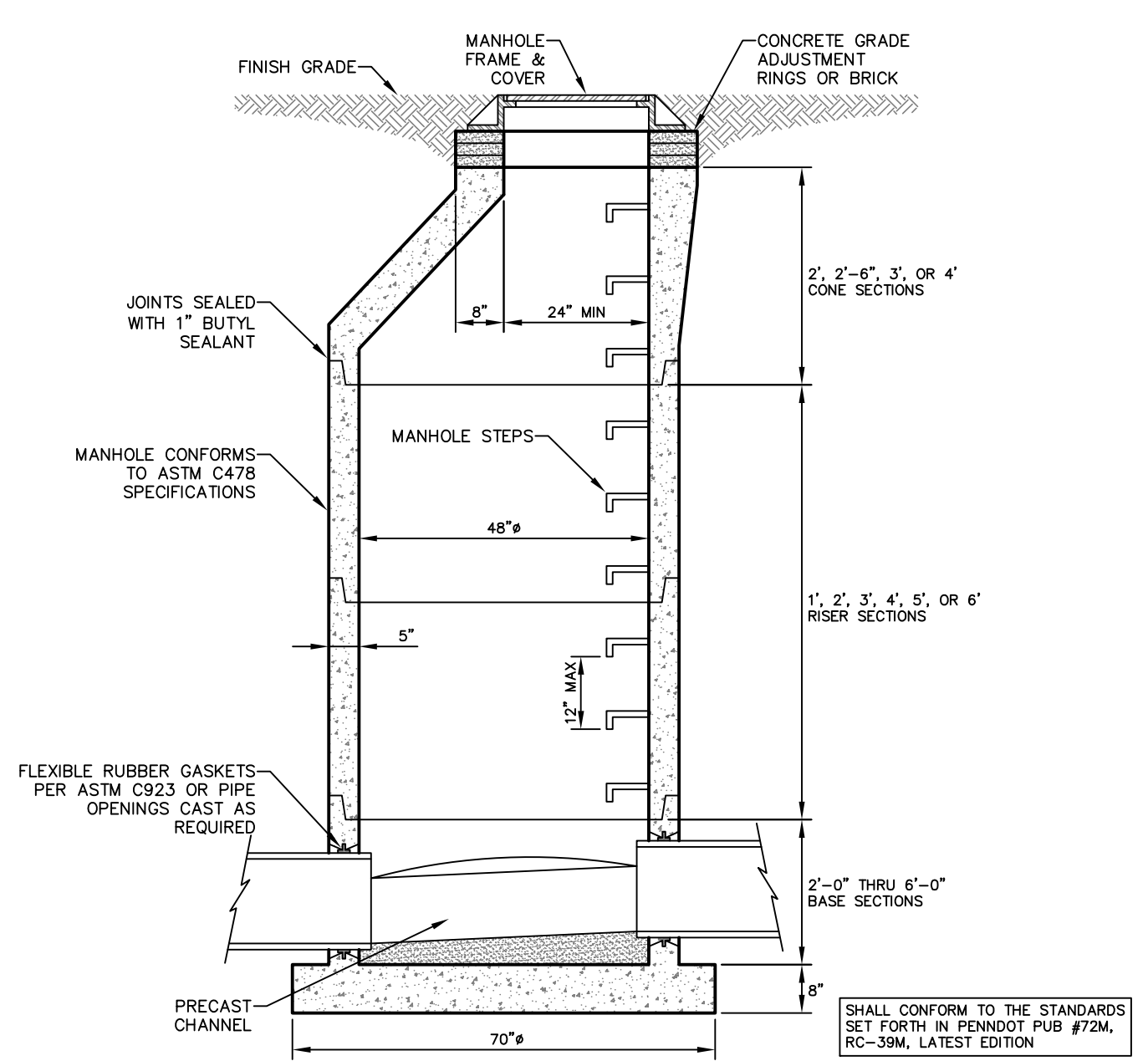
**CONCRETE TYPE C INLET TOP**  
N.T.S.



**STRUCTURAL STEEL BICYCLE SAFE GRATE**  
N.T.S.

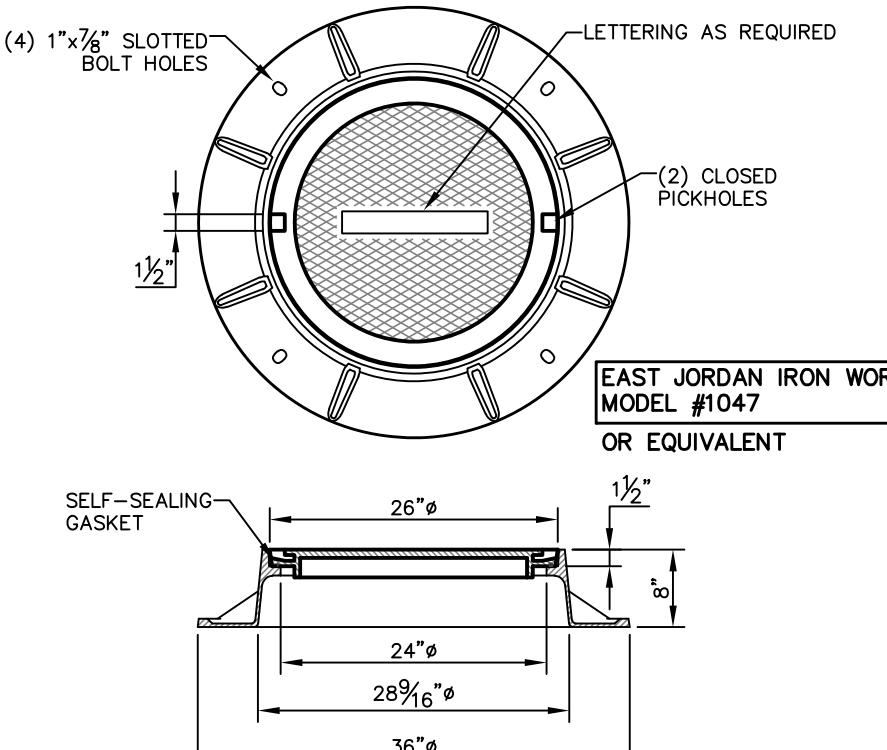
DESIGNS BASED ON THE FOLLOWING:  
 MONARCH PRECAST CONCRETE CORP.  
 OR EQUIVALENT

SHALL CONFORM TO THE STANDARDS SET FORTH IN PENNDOT PUB #72M, RC-30M, LATEST EDITION



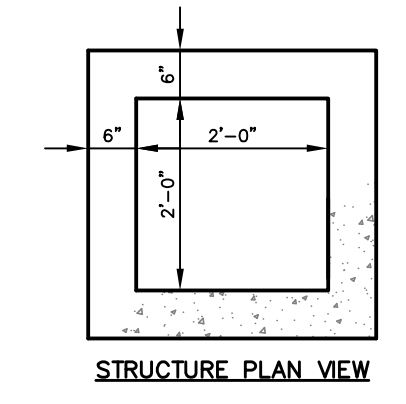
**STORM SEWER MANHOLE**  
N.T.S.

DESIGN BASED ON THE FOLLOWING:  
 MONARCH PRECAST CONCRETE CORP.  
 48\" MANHOLE W/ EXTENDED BASE  
 OR EQUIVALENT

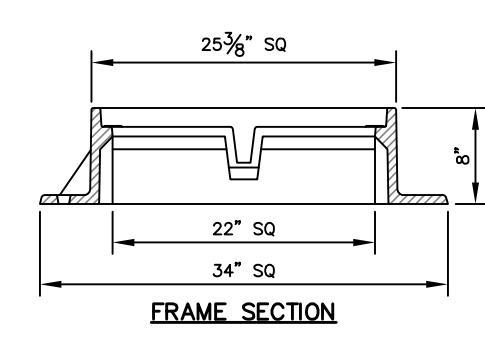


**STANDARD MANHOLE FRAME AND COVER**  
N.T.S.

- NOTES:**
- BEARING SURFACES OF FRAME AND COVER SHALL BE MACHINED.
  - ALL COVERS SHALL HAVE "STORM" OR "SANITARY" IN 4" LETTERS AS APPROPRIATE.
  - COVERS AND FRAMES TO RECEIVE BLACK ASPHALTIC COATING AT FACTORY.
  - WATERTIGHT MANHOLE COVERS TO BE INSTALLED WHERE SHOWN ON THE PLANS.
  - COVERS TO HAVE (4) 3/4\" DIAMETER VENT HOLES IN A 1' SQUARE PATTERN AT ALL TERMINUS MANHOLE LOCATIONS AND WHERE DIRECTED BY THE ENGINEER.

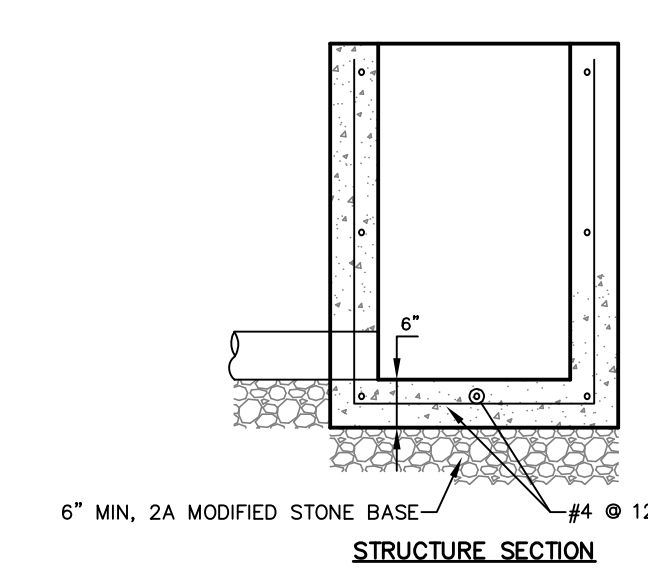


**STRUCTURE PLAN VIEW**



**FRAME SECTION**

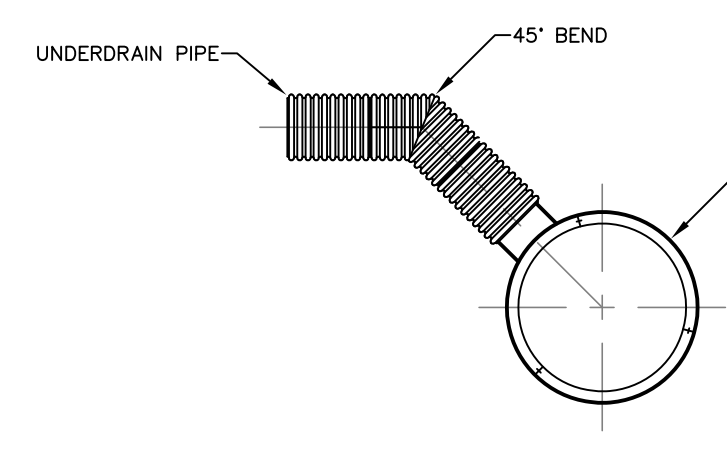
DESIGN WAS BASED ON THE FOLLOWING:  
 EAST JORDAN IRON WORKS  
 #5235 FRAME  
 #V-6622 SOLID COVER  
 OR EQUIVALENT



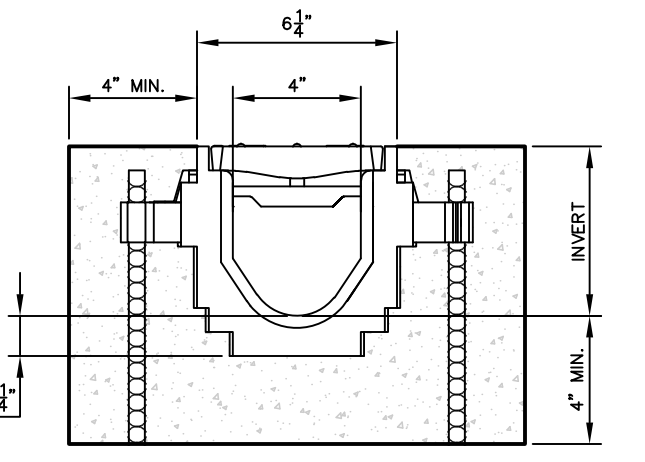
**STRUCTURE SECTION**

NOTE: GRATES SHALL BE CAST IRON & ADA COMPLIANT

**YARD DRAIN**  
N.T.S.

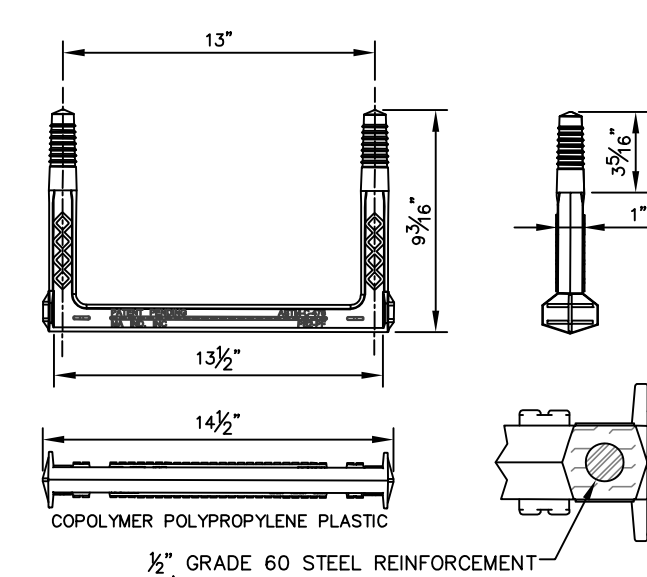


**TYPICAL UNDERDRAIN CONNECTION** N.T.S.



**TRENCH DRAIN**  
N.T.S.

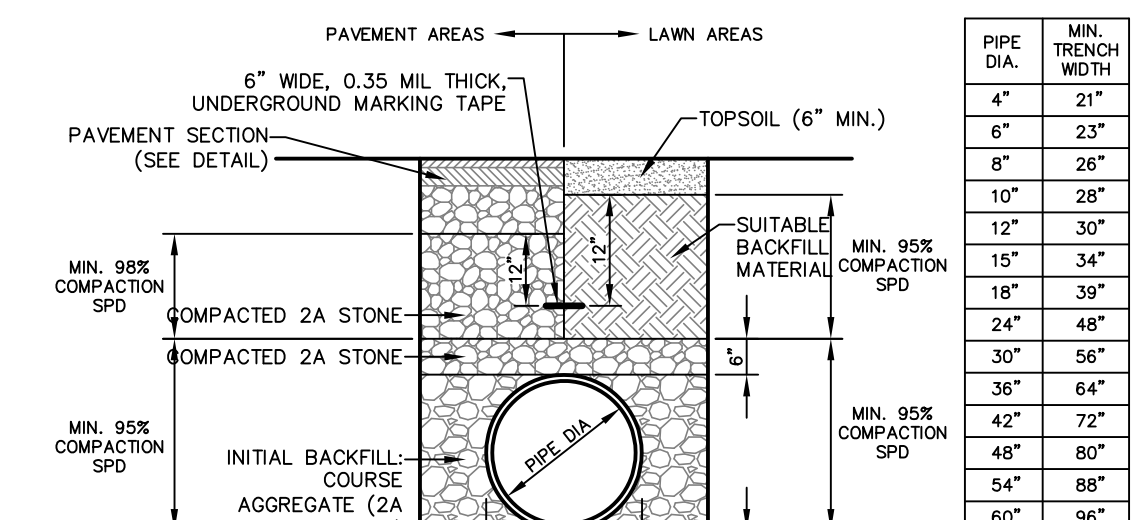
- NOTES:**
- MINIMUM CONCRETE STRENGTH OF 4,000 PSI. CONCRETE SHALL BE VIBRATED TO ELIMINATE AIR POCKETS.
  - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
  - SHOP DRAWINGS SHALL BE PROVIDED TO BE APPROVED BY BOROUGHS ENGINEER.



**TYPICAL STEP CONFIGURATION**  
N.T.S.

DESIGN WAS BASED ON THE FOLLOWING:  
 M.A. INDUSTRIES  
 #S2-PP-DF / 004-510-DF  
 OR EQUIVALENT

SHALL CONFORM TO THE STANDARDS SET FORTH IN PENNDOT PUB #72M, RC-30M, LATEST EDITION



**STORM PIPE TRENCH**  
N.T.S.

- NOTES:**
- PLACE 2A COARSE AGGREGATE MATERIAL (IN 4\" LEFT) ADJACENT TO THE LOWER MANHOLES TO A HEIGHT OF 12\" ABOVE TOP OF PIPE. COMPACT TO 95% SPD. TEST THE BACKFILL MATERIAL AND CONTINUE ENGAGEMENT IN ACCORDANCE WITH SECTION 601.
  - PLACEMENT OF BACKFILL MATERIAL IN 8\" LAYERS SHALL BE PERMITTED WHEN USING VIBRATORY COMPACTION EQUIPMENT.
  - FOR TRENCH BOX CHANGING INSTALLATION REQUIREMENTS REFER TO PUBLICATION #06-SECTION 601.
  - REFER TO PA. D.O.T. STANDARDS RC-30M.

Revisions		
No.	Date	Description
1	04/27/23	BOROUGHS COMMENTS

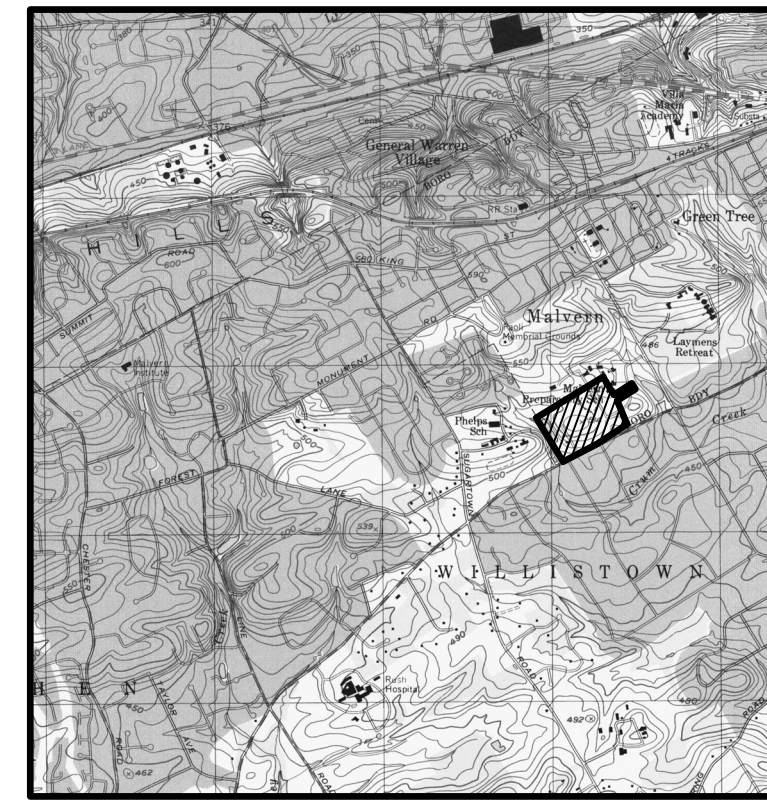
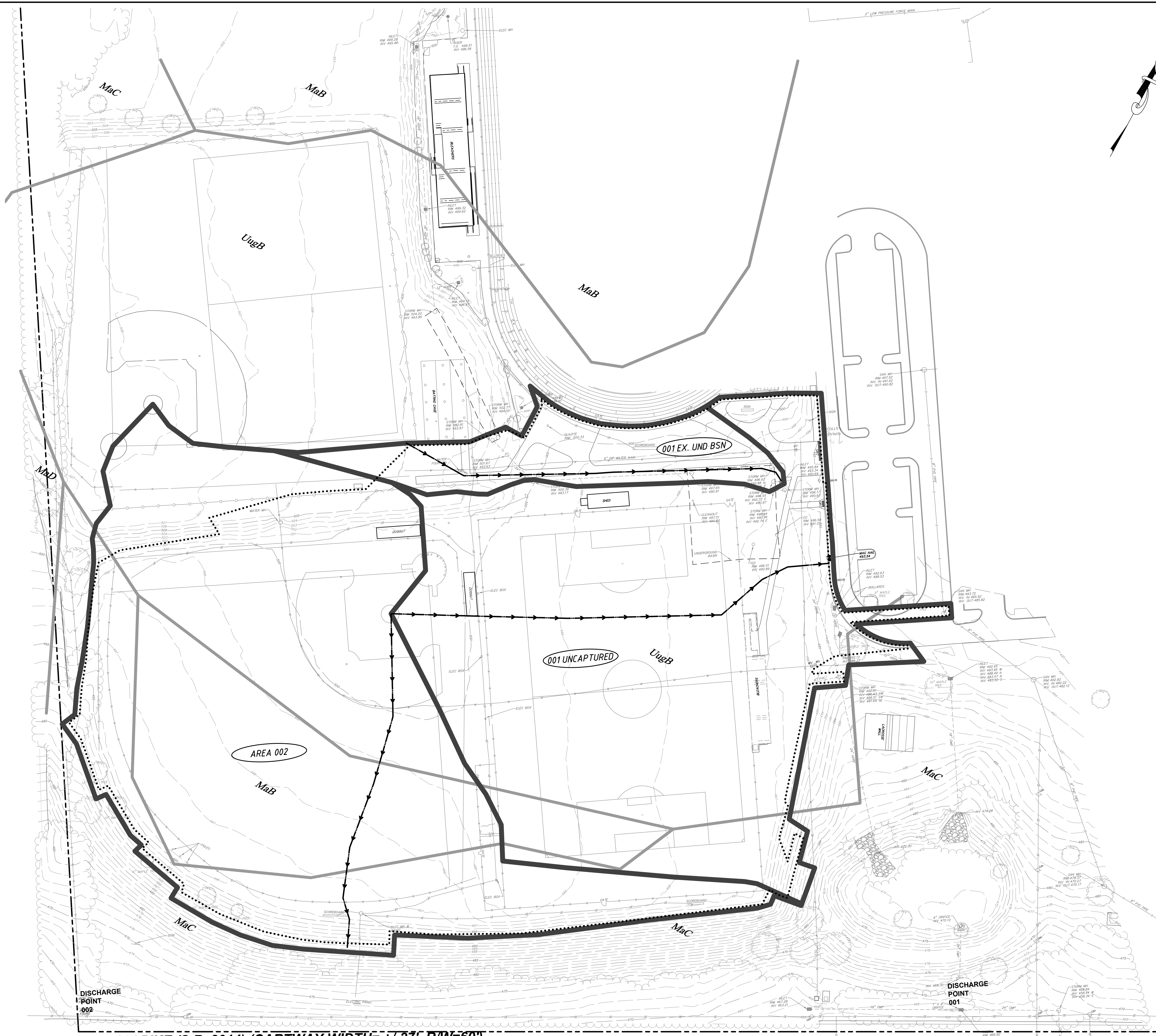
**erraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-688-1452 www.erraformengineering.com

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 ATHLETIC FACILITY IMPROVEMENTS  
 SITE CONSTRUCTION DETAILS

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 Structural Design & Analysis | Forensic Engineering  
**DEI**  
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 (610)662-3009 • (610)662-0100 ext. 2 • www.dhuy.com

**PROFESSIONAL ENGINEER**  
 JUSTIN QUINTUS MASSIE  
 ENGINEER REG. NO. 1000000000

Drawn: GAS Appd.: JQM  
 Date: 02/07/2023  
 Scale: AS NOTED  
 Job No. 848001  
 Drawing No. 17 of 19  
**C802**



LOCATION MAP  
SCALE: 1" = 2,000'

**SOIL CLASSIFICATIONS**

- MaB** MAJOR LOAM, 10-20% SLOPES, HSG B
- MaC** MAJOR LOAM, 20-30% SLOPES, HSG B
- MaD** MAJOR LOAM, 15-20% SLOPES, HSG B
- UugB** URBAN LAND - DEPOSITED, SANDS AND GRAVELS, 10-20% SLOPES, HSG C

**DRAINAGE LEGEND**

- DRAINAGE AREA BOUNDARY:
- Tc PATH:
- LIMIT OF DISTURBANCE:
- DRAINAGE AREA LABEL:

**LEGEND**

- BOUNDARY LINE:
- ADJOINING LOT LINE:
- RIGHT-OF-WAY:
- IRON PIN/CONCRETE MONUMENT:
- BUILDING RESTRICTION LINE:
- EASEMENT:
- FENCE:
- SHOW:
- CURBING:
- BUILDING:
- EXISTING:
- STORM PIPE/INLET/MANHOLE:
- SANITARY PIPE/MANHOLE/CLEAN OUT:
- WATER LINE/HYDRANT/VALVE:
- GAS LINE & VALVE:
- OVERHEAD ELECTRIC:
- UNDERGROUND ELECTRIC:
- UTILITY POLE:
- LIGHT POLE:
- TREES/SHRUBS:
- TREE LINE:
- CONTOUR:
- SPOT:
- SOILS:

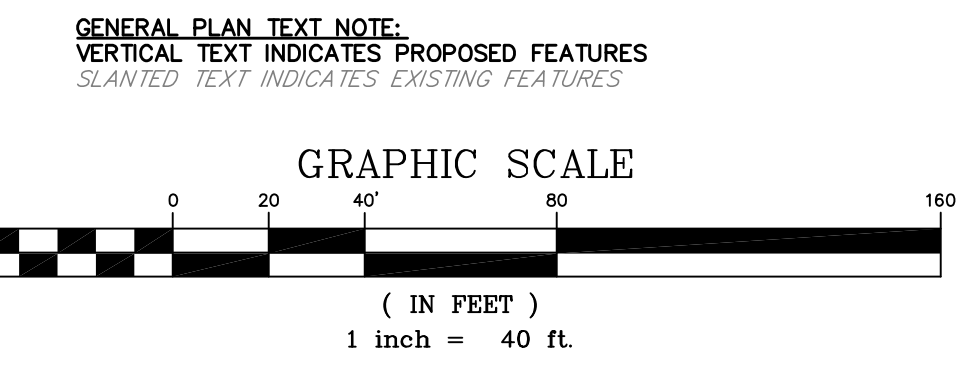
DISCHARGE POINT 002

DISCHARGE POINT 001

PAOLI PIKE (S.R. 2014) (CARTWAY WIDTH= +/-27', RW=60')

**NOTE:**  
PURSUANT TO THE REQUIREMENTS OF ACT 287 OF 1974 AND AS LAST AMENDED BY ACT 181 OF 2008 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE, IN ACCORDANCE WITH ACT 181, (PA ONE CALL SYSTEM, INC. 1-800-242-1776).  
THE SITE SERIAL NUMBERS ARE 20221443120, 2022160157, AND 2022144349.

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
1-800-242-1776

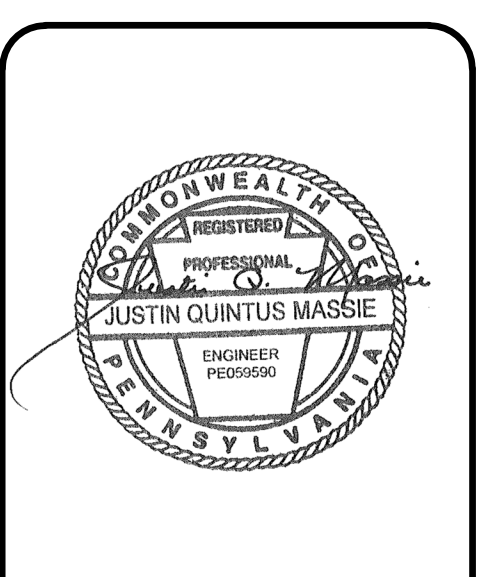


Revisions		
No.	Date	Description

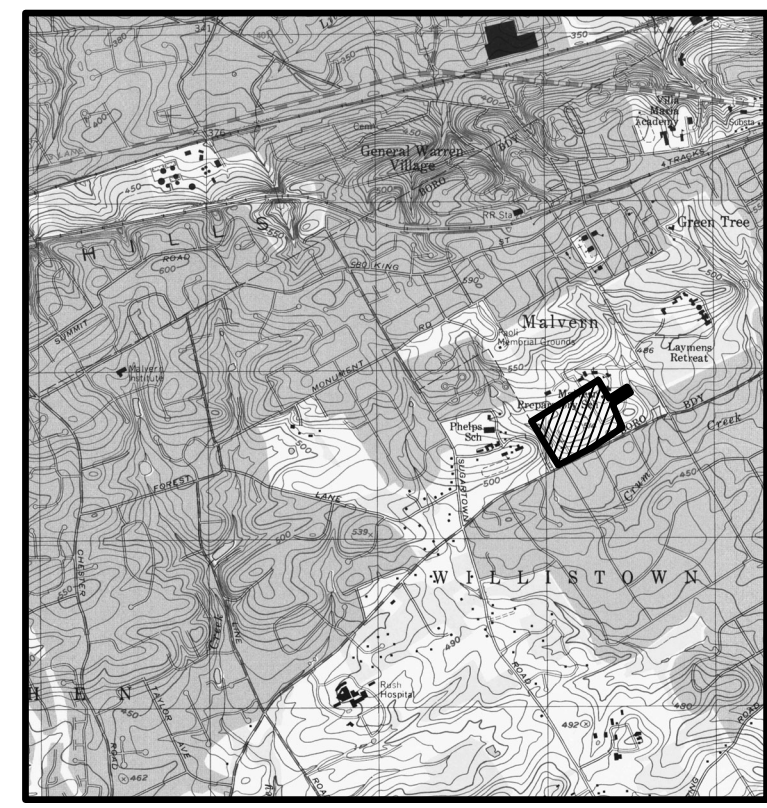
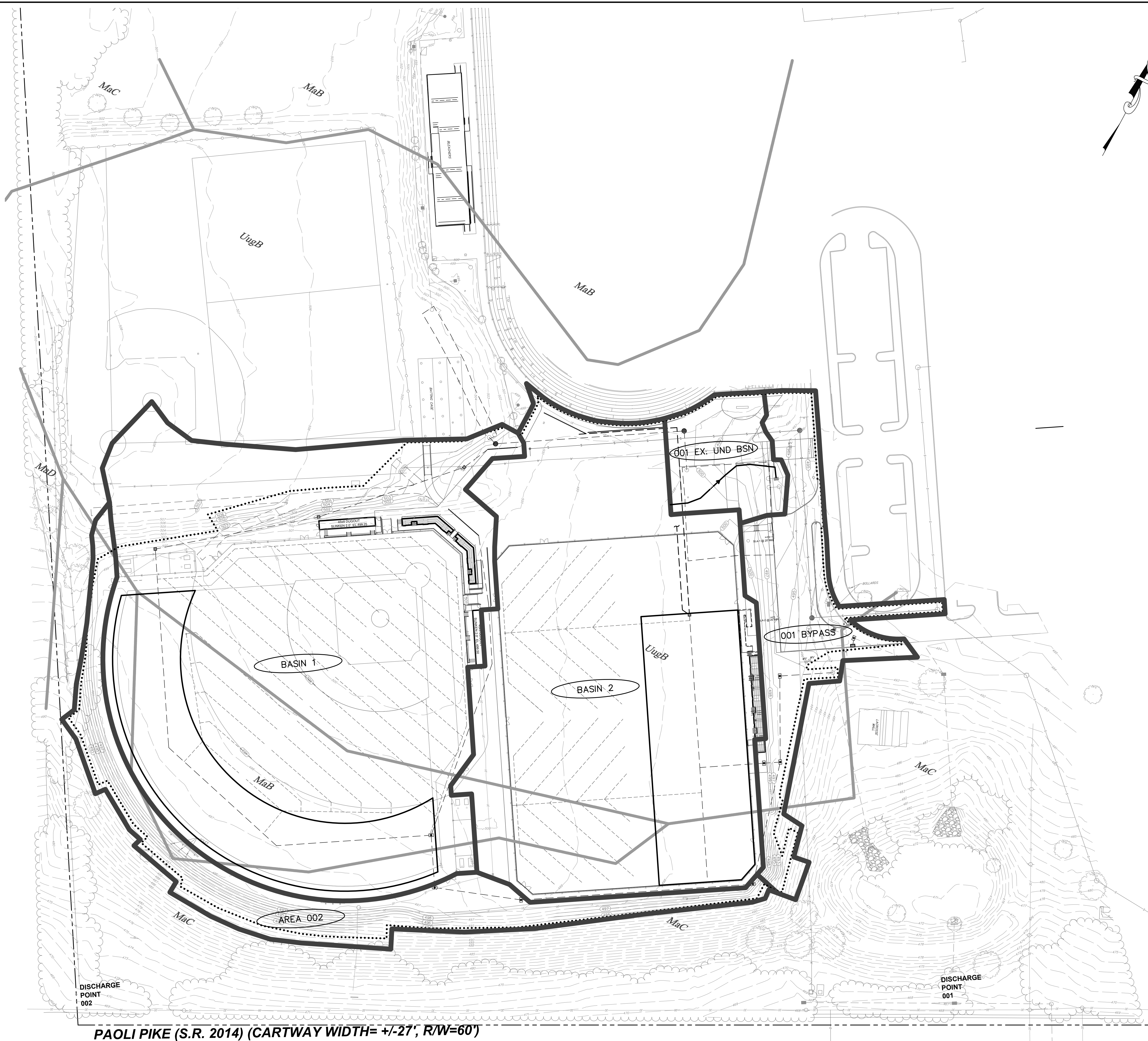
**Terraform Engineering, LLC**  
 ONE EAST BROAD STREET, SUITE 530  
 BETHLEHEM, PA 18018  
 PHONE: 610-685-1452 www.terraformengineering.com

MALVERN	PENNSYLVANIA
MALVERN PREPARATORY SCHOOL	PRELIMINARY / FINAL
	ATHLETIC FACILITY IMPROVEMENTS
	PRE-DEVELOPMENT DRAINAGE MAP

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Drawn: GAS	Appd.: JQM
Date: 02/07/2023	
Scale: 1" = 40'	
Job No. 848001	
Drawn No. 18 of 19	
No. <b>DM1</b>	



LOCATION MAP  
SCALE: 1" = 2,000'

**SOIL CLASSIFICATIONS**

- MaB* MAJOR LOAM 2%-10% SLOPES, HSG B
- MaC* MAJOR LOAM 2%-10% SLOPES, HSG B
- MaD* MAJOR LOAM 10%-15% SLOPES, HSG B
- UugB* URBAN LAND-USE/DEVELOPMENT, SOFT AND MOIST COMPACT 2%-8% SLOPES, HSG C

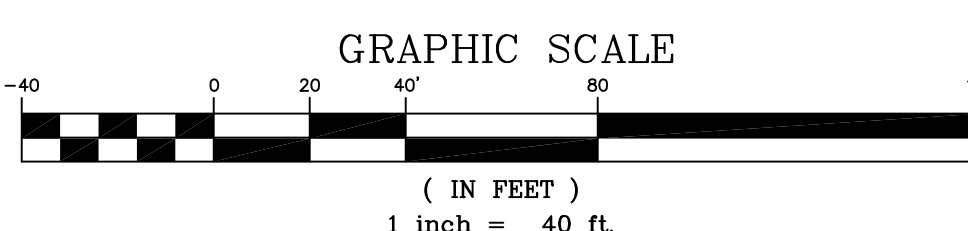
**DRAINAGE LEGEND**

- DRAINAGE AREA BOUNDARY: ————
- To PATH: ————
- LIMIT OF DISTURBANCE: ······
- DRAINAGE AREA LABEL: **AREA 002**

**LEGEND**

- |                                 |                 |                 |
|---------------------------------|-----------------|-----------------|
|                                 | <b>EXISTING</b> | <b>PROPOSED</b> |
| BOUNDARY LINE                   | ————            | ————            |
| ADJOINING LOT LINE              | ————            | ————            |
| RIGHT-OF-WAY                    | ————            | ————            |
| IRON PIN/CONCRETE MONUMENT      | ⊙               | ⊙               |
| BUILDING RESTRICTION LINE       | ————            | ————            |
| EASEMENT                        | ————            | ————            |
| FENCE                           | ————            | ————            |
| SIGNS                           | ————            | ————            |
| CURBING                         | ————            | ————            |
| PAVEMENT                        | ————            | ————            |
| BUILDING                        | ————            | ————            |
| TURF FIELD                      | ————            | ————            |
| STORM PIPE/INLET/MANHOLE        | ⊙               | ⊙               |
| SANITARY PIPE/MANHOLE/CLEAN OUT | ⊙               | ⊙               |
| WATER LINE/HYDRANT/VALVE        | ⊙               | ⊙               |
| GAS LINE & VALVE                | ⊙               | ⊙               |
| OVERHEAD ELECTRIC               | ⊙               | ⊙               |
| UNDERGROUND ELECTRIC            | ⊙               | ⊙               |
| UTILITY POLE                    | ⊙               | ⊙               |
| LIGHT POLE                      | ⊙               | ⊙               |
| TREES/SHRUBS                    | ⊙               | ⊙               |
| TREE LINE                       | ————            | ————            |
| CONTOUR                         | ————            | ————            |
| SPOT                            | ⊙               | ⊙               |
| SOILS                           | ————            | ————            |

GENERAL PLAN TEXT NOTE:  
VERTICAL TEXT INDICATES PROPOSED FEATURES  
SLANTED TEXT INDICATES EXISTING FEATURES



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1-800-242-1776

**PAOLI PIKE (S.R. 2014) (CARTWAY WIDTH= +/-27', R/W=60')**

DISCHARGE POINT  
002

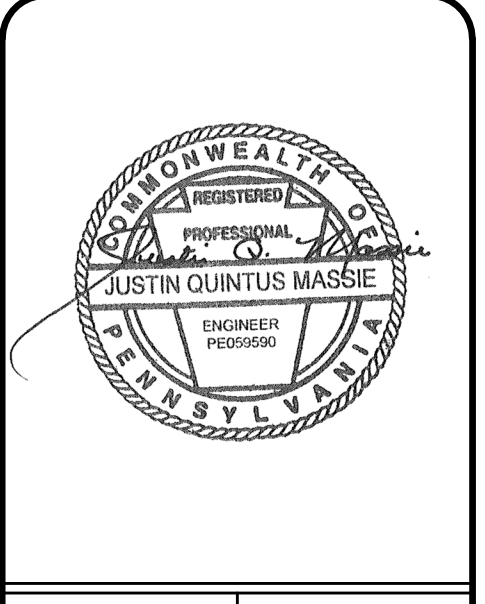
DISCHARGE POINT  
001

Revisions		
No.	Date	Description

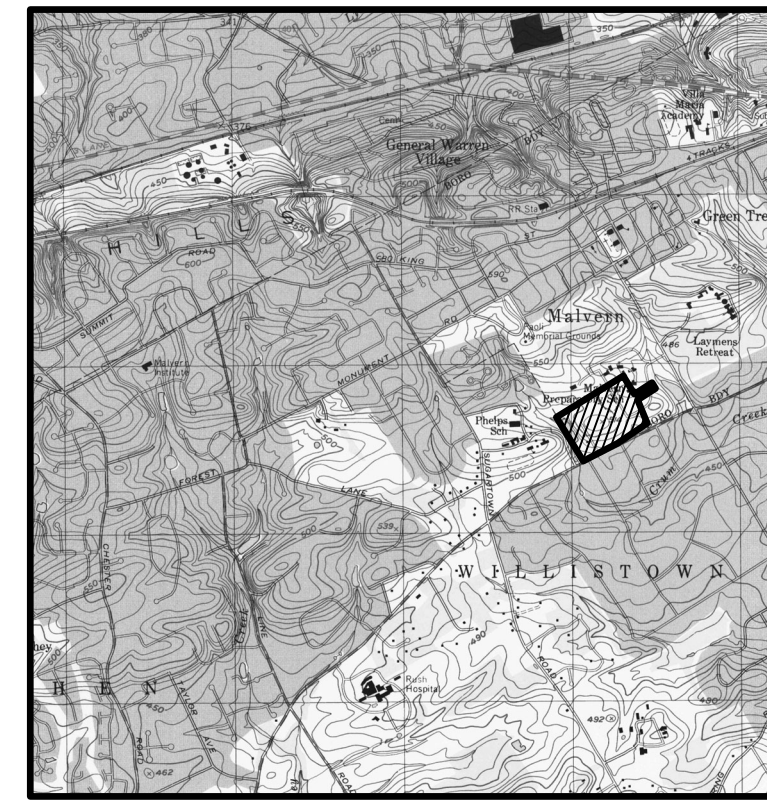
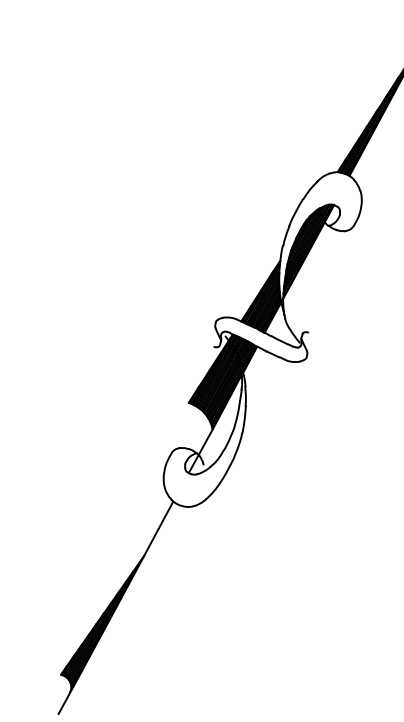
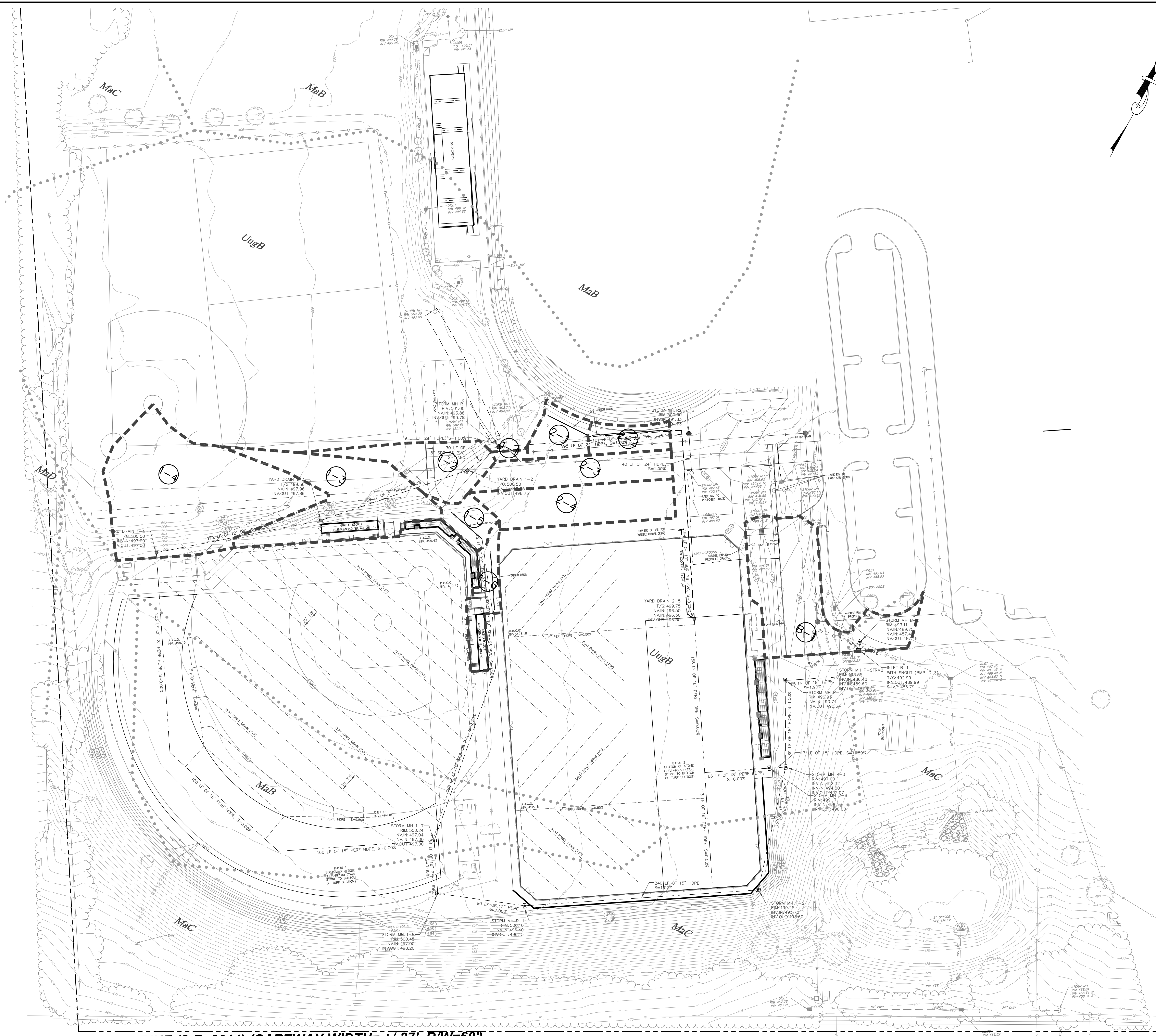
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MALVERN	PENNSYLVANIA
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	ATHLETIC FACILITY IMPROVEMENTS
	POST-DEVELOPMENT DRAINAGE MAP

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Drawn: GAS	Appd.: JQM
Date: 02/07/2023	
Scale: 1" = 40'	
Job No. 848001	
Drawn No. 19 of 19	
No. <b>DM2</b>	



LOCATION MAP  
SCALE: 1" = 2,000'

**SOIL CLASSIFICATIONS**

- MaB** MAJOR LOAM, 3% TO 8% SLOPES, HSG B
- MaC** MAJOR LOAM, 8% TO 12% SLOPES, HSG B
- MaD** MAJOR LOAM, 12% TO 18% SLOPES, HSG B
- UugB** URBAN LAND - UNDEVELOPED, SOFT AND GROSS COMPLEX, 0% TO 8% SLOPES, HSG C

**DRAINAGE LEGEND**

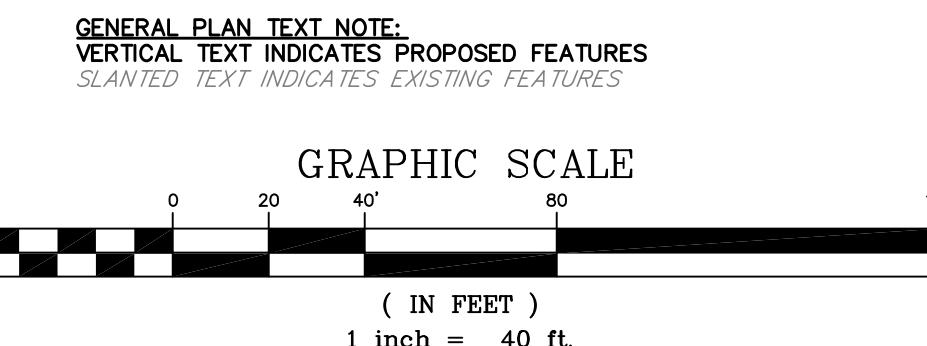
- INLET DRAINAGE BOUNDARY
- INLET AREA LABEL (A1)

**LEGEND**

	EXISTING	PROPOSED
BOUNDARY LINE	---	---
ADJOINING LOT LINE	---	---
RIGHT-OF-WAY	---	---
IRON PIN/CONCRETE MONUMENT	IP	CONC MON
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
FENCE	---	---
SIGNS	---	---
CURBING	---	---
PAVEMENT	---	---
GRAVEL/STONE	---	---
CONCRETE	---	---
BUILDING	---	---
TURF FIELD	---	---
STORM PIPE/INLET/MANHOLE	---	---
SANITARY PIPE/MANHOLE/CLEAN OUT	---	---
WATER LINE/HYDRANT/VALVE	---	---
GAS LINE & VALVE	---	---
OVERHEAD ELECTRIC	---	---
UNDERGROUND ELECTRIC	---	---
UTILITY POLE	---	---
LIGHT POLE	---	---
TREES/SHRUBS	---	---
TREE LINE	---	---
CONTOUR	---	---
SPOT	---	---
SOILS	---	---

**NOTE:**  
PURSUANT TO THE REQUIREMENTS OF ACT 287 OF 1974 AND AS LAST AMENDED BY ACT 181 OF 2008 THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 181. (PA ONE CALL SYSTEM, INC. 1-800-242-1776).  
THE SITE SERIAL NUMBERS ARE 20221443120, 2022160157, AND 2022144349.

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
1-800-242-1776



Revisions		
No.	Date	Description

**Terraform Engineering, LLC**  
ONE EAST BROAD STREET, SUITE 530  
BETHLEHEM, PA 18018  
PHONE: 610-685-1452 www.terraformengineering.com

MALVERN	PENNSYLVANIA
MALVERN PREPARATORY SCHOOL	
PRELIMINARY / FINAL	
ATHLETIC FACILITY IMPROVEMENTS	
INLET DRAINAGE MAP	

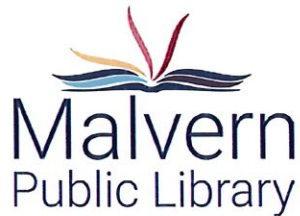
**D'HUY Engineering, Inc.**  
CONSULTING ENGINEERS: Project Management | Facilities Engineering  
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**DEI**  
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(610)685-2000 • (610)685-0000 • www.dhuy.com

**PAUL QUINTELL MASSIE**  
REGISTERED PROFESSIONAL ENGINEER  
No. 1000000000

Drawn: GAS Appd.: JQM  
Date: 02/07/2023  
Scale: 1" = 40'  
Job No. 848001  
Drawing No. **DM3**



June 13, 2023

Malvern Borough Council Members  
1 East First Avenue  
Malvern, PA 19355

To the Council,

Dr. Helise Bichefsky has been a member of the Friends of the Malvern Public Library since the group began several years ago. She attends meetings regularly and has made several important suggestions that improved the effectiveness of the Friends. She regularly works the book sale. Helise's participation has helped coordinate the programs of the MPL with those of Malvern Borough Parks and Recreation. The board and staff of the library are very appreciative of her contributions. Therefore, we were very pleased to learn that Helise was interested in becoming a member of the Malvern Public Library Board of Trustees. This letter is to inform the Council of the board's support of Dr. Helise Bichefsky's membership on the MPL Board of Trustees.

Sincerely,

Victoria B. Damiani  
Secretary  
Malvern Public Library Board of Trustees